











### CONSTRUCTION NOTES

ALL REFERENCES STANDARDS AND CHAPTERS AS NOTED ARE PER THE 2020 NYSRC FOR ONE AND TWO FAMILY DWELLINGS.

- ALL ARCHITECTURAL PLANS AND CONSTRUCTION MEANS AND METHODS MUST BE REVIEWED AND INSPECTED BY A NEW YORK CODE ENFORCEMENT OFFICIAL PURSUANT TO TITLE 19 NYSRR PARTS 434 \$
- 2. EACH RESIDENTIAL APPLICATION FOR A NEW STRUCTURE AND EACH ADDITION TO OR REHABILITATION TO AN EXISTING RESIDENTIAL STRUCTURE THAT UTILIZES TRUSS TYPE CONSTRUCTION, PRE-ENGINEERED WOOD CONSTRUCTION AND/OR TIMBER CONSTRUCTION SHALL BE IDENTIFIED BY A SIGN IN ACCORDANCE WITH THE PROVISIONS OF TITLE 19 NYCRR (PART 1265), A SIGN MUST BE AFFIXED TO THE ELECTRONIC BOX, IF THERE IS ONE, ON THE EXTERIOR OF THE STRUCTURE. IF NO ELECTRONIC BOX EXISTS, THEN A CONSPICUOUS LOCATION ON THE STRUCTURE THAT IS APPROVED BY THE AUTHORITY HAVING JURISDICTION AND CAN BE SEEN BY FIRST RESPONDERS,
- ALL EXISTING CONDITIONS ARE ASSUMED AND SHALL BE VERIFIED IN THE FILED BY THE CONTRACTOR, IF ANY DISCREPANCIES ARE FOUND, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY TO MODIFY THE STRUCTURAL PLANS, IF CONTRACTOR PROCEEDS WITHOUT NOTIFYING THE ARCHITECT, THE CONTRACTOR SHALL TAKE FULL RESPONSIBILITY FOR ANY ILLEGAL CONSTRUCTION. THE EXISTING FIRST ARE ASSUMED TO BE 2"X4" @ 16" O.C. WITH INTERMEDIATE BLOCKING AT ALL BEARING PARTITIONS WITH (2) 2"X4" WOOD PLATES, THE FOUNDATION WALL AND FOOTINGS ARE ASSUMED TO BE CONCRETE (APPROXIMATELY 8" THICK WITH "T" SHAPED 16"WX8" DEEP FOOTING (36" MINIMUM BELOW ADJACENT GRADE).
- 4. AJ6 ALTERATIONS LEVEL 2:
- AJ6Ø1.3 COMPLIANCE ALL NEWLY CONSTRUCTED ELEMENTS, COMPONENTS, SYSTEMS AND SPACES SHALL COMPLY WITH THE REQUIREMENTS OF THIS CODE.

#### EXCEPTIONS:

- SPACES CREATED IN BASEMENTS MAY HAVE A CEILING THAT PROJECTS TO WITHIN 6 FEET, 8 INCHES OF THE FINISHED FLOOR: GIRDERS AND DUCTS IN SUCH SPACE OR OTHER OBSTRUCTIONS MAY PROJECT TO WITHIN 6 FEET, 4 INCHES OF THE FINISHED FLOOR, EXISTING FINISHED CEILING HEIGHTS IN SPACES SHALL NOT BE REDUCED.
- 2. EXISTING STAIRS NOT OTHERWISE BEING ALTERED SHALL BE PERMITTED TO REMAIN THEIR CURRENT CLEAR WIDTH AT, ABOVE, AND BELOW EXISTING HANDRAILS.
- 3. EXISTING STAIRS NOT OTHERWISE BEING ALTERED SHALL BE PERMITTED TO MAINTAIN THEIR CURRENT RISER HEIGHTS AND TREAD DEPTHS.
- 4. HEADROOM HEIGHT ON EXISTING STAIRS BEING ALTERED SHALL NOT BE REDUCED BELOW THE EXISTING STAIRWAY FINISHED HEADROOM. EXISTING STAIRS NOT OTHERWISE BEING ALTERED SHALL BE PERMITTED TO MAINTAIN THE CURRENT FINISHED HEADROOM.
- 5. LANDINGS FOR EXISTING STAIRS NOT OTHERWISE BEING ALTERED SHALL BE
- PERMITTED TO MAINTAIN THEIR CURRENT WIDTHS. 5. TOILET, BATH AND SHOWER SPACES - FIXTURES SHALL BE SPACED IN ACCORDANCE WITH FIGURE R307.1 AND IN ACCORDANCE WITH REQUIREMENTS OF P2705.1. BATHTUB AND SHOWER FLOOR AND WALLS ABOVE TUBS AND INSTALLED SHOWER HEADS AND IN SHOWER COMPONENTS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE AND SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET, 8 INCHES ABOYE AN AREA OF NOT LESS THAN 30 INCHES × 30 INCHES AT THE SHOWER HEAD.
- 6. EXTERIOR STAIRS SHALL BE FIELD MEASURED TO VERIFY THE NUMBER OF RISERS AND TREADS AS PER
- MAXIMUM RISER = 8 1/4" AND MINIMUM TREAD = 9" + 1 1/4" (MINIMUM) NOSING. SMOKE/CARBON MONOXIDE DETECTOR ALARMS SHALL BE HARD WIRED W/ BATTERY BACKUP, INTERCONNECTED AND INSTALLED AS REQUIRED AS PER SECTION R314 \$315 OF BUILDING CODE OF NEW YORK STATE", SMOKE ALARMS/CARBON MONOXIDE ALARMS SHALL BE PERMITTED TO BATTERY OPERATED WHERE PERMITTED IN ACCORDANCE WITH APPENDIX J. (SEE CODE COMPLIANCE NOTES FOR ADDITIONAL INFORMATION).
- 8. LEVEL AND REINFORCE ANY EXISTING FLOOR JOISTS THAT IS SLOPED AND NOT LEVEL.
- 9. THE CONTRACTOR SHALL VERIFY ALL UTILITY CONNECTIONS AND SERVICE LOCATIONS (I.E. DOMESTIC WATER, GAS, ELECTRIC, STORM AND SANITARY DRAIN AND/OR UNDERGROUND TANKS AND WELLS) LOCATIONS BEFORE EXCAYATION.
- 10. THE CONTRACTOR SHALL CAREFULLY INSPECT THE POINT OF CONTACT AT FOUNDATION SUPPORTING COLUMNS AND POINT TRANSFERRING LOADS FOR CRACKS OR OTHER DEFICIENCIES, AND ADVISE ARCHITECT IMMEDIATELY,
- THE CONTRACTOR SHALL INSPECT THE EXISTING WOOD FRAMING FOR ANY INSECT OR WATER DAMAGE THAT WOULD EFFECT THE STRUCTURAL INTEGRITY OF THE EXISTING STRUCTURE, NOTIFY THE ARCHITECT AND OWNER IF DAMAGE IS ENCOUNTERED.
- 12. THE CONTRACTOR SHALL PROVIDE ADEQUATE SHORING AND BRACING OF THE EXISTING STRUCTURE AS REQUIRED DURING THE OPERATION OF WORK, PROVIDE SUFFICIENT SHORING OF EXISTING WALL REMOVALS BEFORE ANY ENLARGEMENT OF OPENINGS AND/OR WALL REMOVALS, DO NOT MOVE SHORING S, PROVIDE SHELF IN THE FOUNDATION WALLS FOR MASONRY SHELVES AND METAL DECKING AS PER FURTHER FROM WALL REMOVAL THAN THE ACTUAL DEPTH OF THE JOIST SUPPORT.
- 13. THE CONTRACTOR SHALL YERIFY IF ANY WALLS TO BE REMOVED ARE BEARING PARTITIONS AND NOTIFY THE ARCHITECT IMMEDIATELY IF CONDITIONS VARY 14. SISTER NEW FLOOR JOISTS WHERE SHOWN ON PLAN, EXTEND JOISTS TO OVERLAP UNDER BEARING
- PARTITION AND BOLT JOISTS WITH (2) 3/4" DIAMETER GALY, BOLTS OR WITH (2) SIMPSON TIMBERLOCK STRUCTURAL WOOD SCREWS @ 16" O.C. AND STAGGERED.
- 15. FIREBLOCKING INSTALLATION AND CONSTRUCTION SHALL COMPLY AS PER R602.8. 16. DRAFTSTOPPING SHALL BE REQUIRED AT CONCEALED SPACE OF A FLOOR CEILING ASSEMBLY AS PER R502.13. DRAFTSTOPPING SHALL BE INSTALLED SO THAT THE AREA OF CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET, DRAFTSTOPPING MATERIALS SHALL BE INSTALLED PARALLEL TO THE FLOOR FRAMING MEMBERS WITH MATERIALS TO COMPLY WITH R-502.12.1.
- 17. NEW MASONRY PATIO AND ALL WALKS SHALL BE SET ON SAND BASE. 18. PROVIDE METAL CONNECTORS TO THE EXISTING PORTION OF DWELLING TO REMAIN AS PER THE
- REQUIREMENTS OF THE NEW ADDITION.
- 19. ENGINEERED LUMBER SHALL BE AS FOLLOWS: A. LAMINATED WOOD BEAMS SHALL BE SIMILAR TO GEORGIA PACIFIC 'GP' - 2.0ELYL, BUILT UP MEMBERS SHALL BE BOLTED WITH 2-3/4" DIAM. STEEL BOLTS AT 16" O.C. AT TOP AND BOTTOM (STAGGER BOLTS). B. FLOOR JOISTS SHALL BE WI 80 SERIES 11 7/8" DEPTH WOOD I-BEAMS @ 16" O.C. WITH 3 1/2" FLANGE WIDTH
- BEARING WALL FOR MULTIPLE SPANS TO IMPROVE PERFORMANCE, ALL SPANS SHALL HAVE BLOCKING PANEL AND CROSS BRIDGING AT 8'-0" O.C. C. ALL JOISTS SHALL BEAR ON WOOD STUD OR BEARING PARTITIONS OR FLUSH TO BEAMS, PROVIDE TOP
- FLANGE JOIST HANGERS. D. PROVIDE BLOCKING PANELS FOR A MINIMUM 4'-O" AT EACH BUILDING CORNER, AT EXTERIOR END WALLS,
- AT CANTILEVER OVERHANGS AND AT BEARING WALLS, SEE MANUFACTURERS SPECIFICATIONS FOR ADDITIONAL LOCATIONS. . PROVIDE FILLER BLOCK WHERE BUILT UP MEMBERS ARE SPECIFIED.
- WHERE JOISTS CANTILEVER INTERIOR BEARING WALLS, DOUBLE FLOOR JOISTS WITH LENGTH AS FOLLOWS
- (CANTILEYER + 2 x CANTILEYER G. PROVIDE FILLER BLOCKING FOR FULL LENGTH, BEARING STIFFENERS AND BLOCKING PANELS. H. INSTALLATION AND CONSTRUCTION SHALL BE AS PER MANUFACTURERS SPECIFICATIONS AND DETAILS.
- 20. PROVIDE COPPER CRICKET, STEPPED FLASHING; AND COUNTER FLASHING; AS REQUIRED WHERE ROOF MEETS EXTERIOR WALLS,
- 21. ALL LEADERS AND DRAINS SHALL DRAINS TO 6" DIAMETER PLASTIC "SCHEDULE" 40" PLASTIC PIPE TO DRYWELLS,
- 22. CONSULT WITH OWNER FOR ALL ELECTRICAL OUTLETS, SWITCHES, CEILING FANS AND EXTERIOR LIGHTING. 23. CONSULT WITH OWNER FOR TYPE OF ARCHITECTURAL STYLE ASPHALT ROOF SHINGLES.
- 24, ALL FLITCH BEAMS SHALL BE AS PER FLOOR PLANS, PROVIDE (2) 5/8" DIAM, STEEL BOLTS AT TOP AND BOTTOM, 16" O.C. AND STAGGERED OR 'BETTER HEADER' AS PER NUMBER SHOWN, PROVIDE APPROVED TYPE SIMPSON GALY, JOISTS HANGERS A EACH SUPPORTING JOISTS, RAFTERS AND GIRDER CONNECTION, 25. UNEXCAYATED AREAS UNDER MASONRY PORCHES AND STEPS SHALL HAVE 4" THICK (MIN.) CONCRETE
- SLAB WITH \*4 REBARS AT 6" O.C. (EACH WAY) OVER COMPACTED SOIL. PROVIDE BRICK PAVERS OVER AT PORCH AND STEPS.
- 26. FURR-OUT CEILINGS AS REQUIRED FOR SHEETROCK TO BE FLUSH WITH STEEL BEAM. 27. THE EXISTING ACCESS TO ATTIC SHALL REMAIN - EX. STAIR TO ATTIC FROM SECOND FLOOR.
- 28. PROVIDE ACCESS TO ATTIC WITH PULL DOWN STAIR (30"X20"), CONSULT WITH OWNER FOR LOCATION, FRAME OPENING AS PER MANUFACTURER SPECIFICATIONS, ACCESS SHALL COMPLY AS PER R807.1. 29. NEW STAIRS FROM FIRST FLOOR SHALL BE AS PER R311 AND AS FOLLOWS, ALL HANDRAILS AND GUARDS
- SHALL BE 36" HIGH AND CONFORM TO R311 & 312, MAINTAIN 6'-8" (MINIMUM) CLEAR HEADROOM AT ALL STAIRS AS PER R311.52. (VERIFY ALL DIMENSIONS IN THE FIELD) 30. ENCLOSED ACCESSIBLE SPACE UNDER STAIR STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND
- ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2 INCH SHEETROCK FINISH. 31. ALL DOOR AND TRIMMED OPENINGS WITHIN BEARING WALLS SHALL HAVE DOUBLE WOOD HEADERS, 2-2"x10" MIN, UNLESS OTHERWISE NOTED.
- 32. ALL BEAMS AND BUILT-UP GIRDERS SHOULD BE FLUSH UNLESS OTHERWISE NOTED.
- 33. CONSULT WITH OWNER FOR EXACT SIZE AND LOCATION OF ATTIC FAN, PROVIDE ELECTRIC OUTLET. 34. INSULATE PERIMETER WALLS OF FIRST AND SECOND FLOOR CELLAR STAIRS AND UNDERSIDE OF STAIRS TO BE INSULATED WITH R-15 BATT INSULATION WHERE EXPOSED TO UNFINISHED CELLAR OR ATTIC
- SPACES 35. PROVIDE WINDOW WELLS FOR ANY WINDOWS OR CRAWL SPACE YENT OPENINGS LOCATED AT GRADE. WELLS SHALL EXTEND BELOW GRADE WITH 12 INCH (MIN.) GRAVEL AT BASE. 36, WHERE RAFTERS MEET FROM VARING ROOFS, INSTALL NEW WOOD SLEEPER (SEE ROOF PLAN FOR SIZE) AT
- VALLEY TO PROVIDE ADEQUATE SUPPORT, UNLESS NOTED OTHERWISE, SEE ROOF PLAN. 37. CONSULT WITH OWNER FOR TYPE OF FINISH FLOORING, ALL WOOD BASE, WINDOW, DOOR AND CROWN MOLDINGS.
- 38 WHERE EXISTING EXTERIOR WALLS ARE TO BE CONVERTED INTO INTERIOR WALLS, CAREFULLY REMOVE ALL EXISTING SIDING, BUILDING PAPER AND INSTALL N32 5/8" SHEETROCK FINISH.
- 39, ALL CRAWL SPACES SHALL HAVE A TWO-INCH THICK CONCRETE RAT SLAB OVER A 6 MIL VAPOR BARRIER PROVIDE VENTILATION WITH WELL AS REQUIRED, CONSULT WITH OWNER FOR LOCATION OF
- ACCESS TO CRAWL SPACE, VENTILATION AND ACCESS OPENING SHALL COMPLY AS PER SECTION R408. 40. PRECAST COLUMNS SHALL BE "HB &G", 12" & 8" DIAMETER (LOAD BEARING), DORIC STYLE COLUMN WITH

- TUSCAN CAPITAL AND BASE, PROVIDE METAL CONNECTOR (1 1/4" WIDE x 20 GA, STEEL STRAP) NAILED TO WOOD HEADER AND RUN THROUGH INSIDE OF COLUMN TO WOOD GIRDER SUPPORT AT FLOOR W/ 6-8d COMMON NAILS OR ANCHORED INTO MASONRY FOUNDATION WITH 2 GALVANIZED EXPANSION BOLTS, WRAP
- OVER TOP OF BEAM AND NAIL W/ 6-8d COMMON NAILS IN EACH END. 41. FIREPLACE CONSTRUCTION, INSULATION AND INSPECTIONS SHALL COMPLY WITH THE PROVISIONS OF THE NEW YORK STATE CONSERVATION AND BUILDING CODES, GAS FIREPLACE UNITS SHALL BE UL RATED WITH DIRECT VENT EXHAUST OR ZERO CLEARANCE METAL FLUE WITH ANTI-DOWN DRAFT CAP AS PER MANUFACTURER SPECIFICATIONS, UNITS SHALL BE ANSI Z2150 OR ANSI Z21.88 COMPLIANT IN ACCORDANCE WITH G2434.1/G2435.1/MI8Ø12.5 DIRECT VENT TERMINATIONS OF THE NYS RESIDENTIAL CODE. CONSULT OWNER FOR MODEL NUMBER AND EXACT SIZE AND LOCATION, FIREBLOCK AS REQUIRED.
- 42. CONSULT WITH OWNER INSTALLATION OF CENTRAL AIR CONDITIONING. 43. PROVIDE POCKET IN NEW FOUNDATION FOR STEEL BEAM, IF REQUIRED ALONG WITH STEEL PLATE, LEYELING NON-SHRINK GROUT AND 1" AIR SPACE.
- 44. ALL CONCRETE FOOTINGS AT UNEXCAYATED AREAS SHALL BE STEPPED DOWN AS PER R403.1 (10-PERCENT SLOPE) TO MATCH THE ELEVATION OF THE CELLAR FOUNDATION, ALL EXTERIOR FOOTINGS SHALL BE PLACE AT LEAST 12 INCHES BELOW UNDISTURBED GROUND SURFACES.
- FLOOR JOISTS ARE ASSUMED TO BE 2"XIO" @ 16" O.C. AND ALL EXISTING EXTERIOR AND INTERIOR WALLS 45, LAUNDRY CLOSET FLOOR SHALL HAVE RUBBEROID WATERPROOF MEMBRANE BASE WITH 3/4" TH. (MIN.) MORTAR, CERAMIC TILE FLOOR FINISH AND WATERPROOF GROUT PITCHED TO FLOOR DRAIN WITH TRAP PRIMER.
  - 46. FIRE RETARD ALL CEILING AND ALL WALLS AT BOILER WITH 5/8" TYPE "X" SHEETROCK, PROVIDE 3/4 HOUR FIRERATED SELF-CLOSING METAL DOOR AND FRAME.
  - 47. PROVIDE 5/8" TYPE "X" SHEETROCK AT ALL GARAGE WALL AND CEILING SURFACES & 5/8" TYPE "X" SHEETROCK FINISH AT OPPOSITE WALL SURFACE (AT LIVING AREA), CONSTRUCTION SHALL COMPLY WITH SECTIONS R302.5 TRU R302.5.3, R702.3 & R805.1. EXTEND SHEETROCK ALONG FIRERATED WALL ADJACENT TO DWELLING TO UNDERSIDE OF JOISTS IF REQUIRED FOR (1-HOUR RATED ENCLOSURE).
  - 48, PROYIDE DAMPROOFING AT NEW FOUNDATION WALLS THAT RETAIN EARTH AND ENCLOSED INTERIOR SPACES AND FLOORS BELOW GRADE FROM THE TOP OF THE FOOTING TO THE FINISHED GRADE WITH TROWELED OR SPRAYED-ON POLYMER ENHANCE ASPHALT LIQUID-APPLIED MEMBRANE (OR APPROVED EQUAL) TO COMPLY WITH THE REQUIREMENTS OF R46.1. A RUBBEROID MEMBRANE SHALL BE REQUIRED WHERE SOIL CONDITIONS INDICATE A HIGH WATER TABLE OR OTHER SEVER SOIL-WATER CONDITIONS ARE KNOWN TO EXIST TO COMPLY WITH THE REQUIREMENTS OF R4062 FOR FOUNDATION WATERPROOFING. ARCHITECT IMMEDIATELY SHOULD POOR SOIL CONDITIONS EXIST AND CONSULT WITH OWNER FOR ADDITIONAL EXISTING FOUNDATIONS TO BE DAMPROOFED.
  - 49. EXTEND EXISTING MASONRY AND FIRE CLAY FLUE TO BOILER OR FURNACE AS SHOWN ON DRAWINGS AND AS PER SECTION RIDO3, PROVIDE CEMENT WASH, COPPER CRICKET, FLASHING AND COUNTER FLASHING
  - AS REQUIRED. 50. NEW GAS FIRED BOILER AND HOT WATER HEATER WITH INSTALLATION AS PER THE MANUFACTURER SPECIFICATIONS AND TO COMPLY WITH THE REQUIREMENTS FOR HEATING AS PER R303.10.
  - 51. ALL EXTERIOR TRIM SHOWN AS 'AZEK' AND/OR 'FYPON' ARE GIVEN AS A GUIDE. ALL SHAPES SHALL MATCH THE EXISTING TRIM AND PROFILES, THE CONTRACTOR SHALL VERIFY ALL SIZES AND SHAPES AT LOCATIONS SHOWN ON DRAWINGS, CONSULT WITH OWNER AND ARCHITECT FOR ANY DISCREPANCIES.

### FOUNDATION NOTES

THREE INCHES,

- COMPLIANCE TO R405 FOUNDATION DRAINAGE IS WITH REGARDS TO EXCEPTION: A DRAINAGE SYSTEM IS NOT REQUIRED WHEN THE FOUNDATION IS INSTALLED ON WELL DRAINED SOIL OR SAND-GRAYEL MIXTURE SOILS ACCORDING TO THE UNIFIED SOIL CLASSIFICATION SYSTEM, GROUP I SOILS AS DETAILED IN TABLE R405.1. THE SOIL CONDITIONS SHALL BE OF WELL DRAINED SAND-GRADULAR SOIL COMPOSITION CONSISTENT WITH GROUP I AS PER TABLE 405.1. PLEASE ADVISE ARCHITECT IMMEDIATELY SHOULD CONDITIONS YARY.
- 2. SANITARY WASTE, TRAP AND LINES FROM DWELLING TO THE SEWER DISPOSAL SYSTEM, WATER, GAS SERVICES AND ELECTRICAL PANELS ARE SHOWN FOR INFORMATION PURPOSES ONLY, CONTRACTOR SHOULD VERIFY ALL UTILITY SERVICE CONNECTIONS.
- 3. SEE FOUNDATION PLAN FOR LOCATION OF SHEARWALL HOLDOWNS.
- 4. THE CONTRACTOR SHALL CAREFULLY INSPECT THE POINT OF CONTACT AT FOUNDATION SUPPORTING COLUMNS FOR CRACKS OR OTHER DEFICIENCIES, AND ADVISE ARCHITECT IMMEDIATELY.
- 5. THE BOTTOM SURFACE OF STEPPED FOOTINGS SHALL NOT HAVE A SLOPE EXCEEDING A 10% SLOPE AS PER THE REQUIREMENTS OF R403.15.
- 6. THE BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE PLACED AT LEAST 12 INCHES BELOW THE UNDISTURBED GROUND SURFACE AS PER 403.1.4.
- T. EXTEND THE TOP OF FOOTING TO AT LEAST 12 INCHES BELOW THE SANITARY WASTE LINE.
- PLANS.
- 9. THE CONTRACTOR SHALL VERIFY WITH THE DEPARTMENT OF PUBLIC WORKS FOR LOCATION OF GAS \$ WATER SERVICE AND SANITARY SEWER LOCATIONS.
- 10. WHERE TOP OF CELLAR WINDOWS ARE LOCATED BELOW THE TOP OF FOUNDATION WALL, PROVIDE (4) #5 HORIZONTAL REBARS ABOVE THE OPENING, BAR LENGTH SHALL BE 12 INCHES WIDER THAN OPENING.
- UNEXCAVATED AREAS UNDER MASONRY PORCHES AND STEPS SHALL HAVE 4" THICK (MIN) CONCRETE SLAB WITH \*4 REBARS AT 6" O.C. (EACH WAY) OVER COMPACTED SOIL, PROVIDE PAVERS OVER AT PORCH AND STEPS WHERE SHOWN ON DRAWINGS.
- 12. WHERE A SLAB ON GRADE IS SUPPORTED ON BACKFILL, THE FILL SHALL BE COMPACTED IN LAYERS NOT EXCEEDING EIGHT INCHES TO AT LEAST NINETY FIVE PERCENT OF THE MAXIMUM DRY DENSITY PER ASTM D-1557, FILL MATERIAL SHALL BE LIMITED TO WELL GRADED SAND OR SAND AND GRAVEL MIXTURE WITH LESS THAN TEN TO FIFTEEN PERCENT FINES PASSING THE No. 200 SIEVE AND A MAXIMUM GRAVEL SIZE OF
- BY 'GEORGIA PACIFIC' OR EQUAL ( MAX. SPAN = 22'-8"), JOISTS SHALL EXTEND WHERE POSSIBLE OVER 13. PROVIDE 1/2" THICK EXPANSION JOINT PREMOLDED FILLER WITH JOINT SEALER WHERE SLAB MEETS FOUNDATION WALL,
  - PROYÍDE \*4 HOOKED DOWELS 1'-6" LONG, EMBEDDED 6" INTO EXISTING FOUNDATION WALL AT 12" O.C. (VERT.), SECURE WITH HIGH STRENGTH, NON SHRINK EPOXY GROUT, TYPICAL WHERE NEW AND EXISTING FOUNDATIONS MEET.
  - 15. ALL INTERIOR CONCRETE SLABS SITTING ON SOIL SHALL HAVE A 6 MIL YAPOR BARRIER BENEATH.

#### STAIR NOTES:

RISERS: THE RISER HEIGHT SHALL BE NOT MORE THAN 81 (196MM), THE RISER SHALL BE MEASURED VERTICALLY BETWEEN LEADING EDGES OF THE ADJACENT TREADS. THE GREATEST RISER HEIGHT WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAT §" (9.5MM), RISERS SHALL BE VERTICAL OR SLOPED FROM THE UNDERSIDE OF THE NOSING OF THE TREAD. ABOVE AT AN ANGLE NOT MORE THAN 30 DEGREES (0.5) RAD) FROM THE VERTICAL, OPEN RISERS ARE PERMITTED PROVIDE THAT THE OPENINGS LOCATED MORE THAN 30 INCHES (762 MM), AS MEASURED VERTICALLY, TO THE FLOOR OR GRADE BELOW DO NOT PERMIT THE PASSAGE OF A 4" DIAMETER(102MM) SPHERE,

TREADS: THE TREAD DEPTH SHALL BE NOT LESS THAN 9" (254MM), THE TREAD DEPTH SHALL BE MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF THE ADJACENT TREADS AND AT A RIGHT ANGLE TO THE TREAD'S LEADING EDGE, THE GREATEST TREAD DEPTH WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8

WOOD TO BE PRESSURE TREATED WITHIN AREAS OF THE NEW WORK THAT IS: -WOOD STRUCTURAL FLOOR CLOSER THAN 18 INCHES AND WOOD GIRDERS CLOSER THAN 12" -ALL WOOD IN DIRECT CONTACT WITH CONCRETE OR MASONRY.

-ENDS OF WOOD ENTERING CONC. -WALL FRAMING ON EXTERIOR OF THE BUILDING HAYING A CLEARANCE OF LESS THAN 6" FROM THE GROUND -ALL DECKING MATERIAL/COLUMNS

AREAS FAVORABLE TO TERMITE DAMAGE SHALL BE PROTECTED BY CHEMICAL SOIL TREATMENT, NATURALLY TERMITE RESISTANT WOOD, PHYSICAL BARRIERS OR PRESSURE PRESERVATIVELY TREATED WOOD

ALL SMOKE/CARBON MONOXIDE DETECTORS TO MEET THE REGULATIONS STATED IN SECTION R314 OF THE RCNYS 2020

ALL BEAM AND POST SIZES TO BE VERIFIED W/ ARCHITECT UPON DEMOLITION

CONTRACTOR TO VERIFY DIRECTION OF JOISTS PRIOR TO REMOVAL OF WALLS, BRACE AS REQUIRED TO SUPPORT JOISTS BELOW, BEARING WALLS TO BE REMOVED PRIOR TO INSTITUTION OF BEAM SPECIFICATION.

ALL WINDOW AND DOOR HEADER TO BE (2) 2X8 UNLESS OTHERWISE SPECIFIED ON PLANS.

PROVIDE AT LEAST ONE EXTERIOR LIGHTING OUTLET CONTROLLED BY THE INSIDE WALL SWITCH FOR ALL ENTRANCES. AS PER RCNYS 2020

SMOKE/CARBON MONOXIDE ALARMS TO BE INSTALLED:

- IN EACH SLEEPING ROOM

THAN SMOKE DETECTOR

PLEASE TAKE NOTICE THAT THE SYMBOL ILLUSTRATED ABOVE MUST BE AFFIXED TO THE ELECTRIC METER BOX OF A

REPLACE THE SYMBOL IF IT IS REMOVED, DAMAGED, FADES OR WORN

RESIDENTIAL STRUCTURE THAT HAS BEEN CONSTRUCTED ADDED TO OR REHABILITATED USING TRUSS TYPE, PRE-ENGINEERED

WOOD OR TIMBER CONSTRUCTION. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTAINING THE SYMBOL AND SHALL

23/04,12 OF THE RCNYS 2/02/0

- OUTSIDE EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS - ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS.

- SMOKE ALARM TO BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT, THE ALARM SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS WITH ALL THE INTERVENING DOORS CLOSED.

-CO DETECTOR MUST PROVIDE DIFFERENT SOUND

VERIFY THERE IS SUFFICIENT PROTECTION AGAINST DECAY AND TERMITES AS PER

-ALL EXTERIOR LIGHTING ON PREMISES SHALL BE DIRECTED AWAY FROM ADJOINING RESIDENCES OR PUBLIC RIGHTS OF WAY AND SHALL NOT EXCEED A HEIGHT OF 20 FT ABOVE GRADE OF THE PREMISES. THE LOCATION, CANDLEPOWER AND TYPE OF FIXTURES TO BE INSTALLED SHALL BE FIRST APPROVED BY THE BUILDING OFFICIAL AS PER 70-52.7

12.09.24 INITIAL SUBMISSION |01.20.25|RESUBMISSION

DATE

SUBMISSIONS

DESCRIPTION

NOTES

NOT FOR CONSTRUCTION

NEED DRB APPROVAL

NEED BZA APPROVAL

02.14.25 RESUBMISSION BZA SUBMISSION 06.11.25 ARB SUBMISSION

EST. - 2009

ARCHITECTS 25 HILLSIDE AVE. WILLISTON PARK - N.Y. P: 516 - 629 - 9060

JARED MANDEL

F: 516 - 750 - 9008 Email: Info@ Mandelarchitects.com



PRIVATE RESIDENCE 178 OVERLOOK AVENUI GREAT NECK, NY 11021

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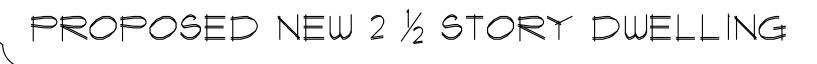
GENERAL NOTES

\_\_\_\_\_ M.L.

ROJECT#: 24048 08.27.24

AS NOTED

CHECKED BY: J.M. SHEET NUMBER



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THESE CONSTRUCTION DOCUMENTS WERE PREPARED USING THE RESIDENTIAL CODE OF NEW YORK (2020 EDITION) IN CONJUNCTION W/ THE PRESCRIPTIVE DESIGN OF THE WOOD FRAME CONSTRUCTION MANUAL FOR ONE & TWO FAMILY DWELLINGS & ASCE T

THESE ENERGY CONSERVATION CALCULATIONS WERE PREPARED USING THE ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE (2020 EDITION)

| U <del>S</del> E   | LIVE LOAD        | DEAD LOAD |
|--|------------------|-----------|
| EXTERIOR BALCONIES   | 60 psf           | 10 psf    |
| DECKS  | 40 psf           | 10 psf    |
| PASSENGER VEHICLE GARAGES                                      | 50 psf           | PER PLAN  |
| ATTICS WITHOUT STORAGE   | 10 psf           | 10 psf    |
| ATTICS WITH STORAGE  | 2Ø pef           | 10 psf    |
| RMS OTHER THAN SLEEPING RMS                                    | 40 psf           | 10 psf    |
| SLEEPING ROOMS   | 30 psf           | 10 psf    |
| STAIRS   | 40 psf           | 10 psf    |
| GUARDRAILS AND HANDRAILS                                       | 200 psf          | 10 psf    |
| ROOFS:<br>LIVE = GROUND SNOW LOAD<br>ADJUSTMENTS AS PER ASCE T | 20 pef<br>30 pef | 10 psf    |

DIVISION 1 - GENERAL REQUIREMENTS

. WORK PERFORMED SHALL COMPLY WITH THE FOLLOWING: A. THESE GENERAL NOTES UNLESS OTHERWISE NOTED ON PLANS OR

B. BUILDING CODE AS SPECIFIED ON THE ARCHITECTURAL DRAWINGS. C. ALL APPLICABLE LOCAL AND STATE CODES, ORDINANCES AND REGULATIONS. D. IN AREAS WHERE THE DRAWINGS DO NOT ADDRESS METHODICALLY, THE CONTRACTOR SHALL BE BOUND TO PERFORM IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS AND/OR RECOMMENDATIONS. 2. ON-SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE

RESPONSIBILITY OF THE GENERAL CONTRACTOR AND HIS SUBCONTRACTORS. 3, NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALE, NEVER SCALE DIRECTLY FROM DRAWINGS, CONTRACTOR SHOULD CONSULT ARCHITECT IN CASE OF QUESTION, 4. THE GENERAL NOTES AND TYPICAL DETAILS APPLY THROUGHOUT THE JOB UNLESS OTHERWISE NOTED OR SHOWN.

5. DISCREPANCIES: THE CONTRACTOR SHALL COMPARE AND COORDINATE ALL DRAWINGS WHEN IN THE OPINION OF THE CONTRACTOR, A DISCREPANCY EXISTS HE SHALL PROMPTLY NOTIFY THE ARCHITECT, IN WRITING, BEFORE PROCEEDING WITH THE WORK OR HE SHALL BE RESPONSIBLE FOR THE SAME AND ANY INDIRECT RESULTS OF HIS ACTION.

6. OMISSIONS: ARCHITECTURAL DRAWINGS AND SPECIFICATIONS SHALL BE

CONSIDERED AS PART OF THE CONDITIONS FOR THE WORK, IN THE EVENT THAT CERTAIN FEATURES OF THE CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS, CURRENT NATIONAL, STATE AND LOCAL CODES, ORDINANCES, REGULATIONS OR AGREEMENTS AS WELL AS CURRENT ACCEPTABLE BUILDING PRACTICES SHALL GOVERN, AND THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS FOR SIMILAR CONDITIONS THAT ARE SHOWN OR NOTED. 7. THE ARCHITECT WILL NOT BE RESPONSIBLE FOR AND WILL NOT HAVE CONTROL OVER CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, AND WILL NOT BE RESPONSIBLE FOR THE FAILURE OF THE CLIENT OR HIS

CONTRACTORS, SUBCONTRACTORS, OR ANYONE PERFORMING ANY OF THE WORK, TO CARRY OUT THE WORK IN ACCORDANCE WITH THE APPROVED CONTRACT 8. ANY AND ALL DRAWINGS AND SPECIFICATIONS FOR SITEWORK, PLUMBING SUPPLY OR WASTE, ELECTRICAL CIRCUITRY, AND HEATING, VENTILATING, FABRICATED

TRUSSES, AND AIR CONDITIONING SYSTEMS ARE NOT A PART OF THE PROFESSIONAL SERVICES PROVIDED TO THE CLIENT BY THE ARCHITECT UNLESS INCLUDED UNDER THEIR AGREEMENT, ANY DISCREPANCIES WITH THESE DOCUMENTS BY ANY OF THE ABOVE LISTED SERVICES AS SHOWN IN DOCUMENTS PREPARED BY OTHERS SHOULD BE INDICATED IN WRITING TO THE ARCHITECT IMMEDIATELY. 9, PRIOR TO APPLICATION FOR BUILDING PERMITS. THE CONTRACTOR WILL FURNISH THE ARCHITECT WITH TWO SETS OF SHOP DRAWINGS OF ALL PREFABRICATED COMPONENTS, ONE SET TO BE RETAINED BY ARCHITECT, THE OTHER SET TO BE RETURNED TO CONTRACTOR AFTER REVIEW, ITEMS REQUIRING SHOP DRAWINGS INCLUDE BUT ARE NOT LIMITED TO ROOF TRUSSES, FLOOR TRUSSES, STAIRS, CABINETS, VANITIES, ETC. SHOULD THE DESIGN OR CONFIGURATIONS OF ANY PREFABRICATED COMPONENT BE MODIFIED DURING CONSTRUCTION FROM PREVIOUSLY APPROVED SHOP DRAWINGS, THE ARCHITECT SHALL BE FURNISHED,

PRIOR TO FABRICATION, WITH REVISED SHOP DRAWINGS INCORPORATING THE REVISION. IF THE ARCHITECT IS NOT PROVIDED WITH THE ABOVE INFORMATION, THE CLIENT SHALL DEFEND, INDEMNIFY, AND HOLD HARMLESS THE ARCHITECT FROM ANY CLAIM OR SUITE WHATSOEVER, INCLUDING BUT NOT LIMITED TO, ALL PAYMENTS, EXPENSES OR COSTS INCLUDED, ARISING OR ALLEGED TO HAVE ARISEN FROM PREFABRICATED ITEMS.

10. THE CONDITIONS AND ASSUMPTIONS STATED IN THESE SPECIFICATIONS SHALL BE VERIFIED BY THE CONTRACTOR FOR CONFORMANCE TO LOCAL CODES AND CONDITIONS, IN THE EVENT OF A DISCREPANCY BETWEEN THESE SPECIFICATIONS AND LOCAL CODES OR CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING OF THE DISCREPANCY AND SPECIAL ENGINEERING REQUIREMENTS SHALL BE APPLIED TO INSURE THE BUILDING'S STRUCTURAL

1. THESE REQUIREMENTS MAY BE SUPERSEDED BY MORE STRINGENT INFORMATION CONTAINED WITHIN THE DRAWINGS, THE MORE STRINGENT SHALL BE FOLLOWED. 12. SOIL CONDITIONS SHALL CONFORM TO OR EXCEED THE FOLLOWING CONDITIONS: BEARING CAPACITY: MIN. 2000 PSF. FIELD VERIFIED UNDER ALL FOOTINGS AND REINFORCED SLABS, WATER TABLE: MIN. 2'-O" BELOW BOTTOM OF ALL CONCRETE SLABS AND FOOTINGS, FOOTINGS, FOUNDATIONS, WALLS, AND SLABS SHALL NOT BE PLACED ON OR IN MARINE CLAY, PEAT AND OTHER ORGANIC MATERIALS. 13. BOTTOM OF FOOTINGS SHALL EXTEND BELOW FROST LINE OF THE LOCALITY AND MINIMUM 3'-0" BELOW EXISTING GRADE TO UNDISTURBED SOIL OR SOIL COMPACTED TO 95% DRY DENSITY HAVING A LOAD CARRYING CAPACITY AS SPECIFIED IN NOTE 12, AS VERIFIED BY A SOILS ENGINEER LICENSED IN THE

LOCALITY WHERE PROJECT IS BEING BUILT. 14. ALL FOUNDATION WALL BACKFILL UNDER SLABS WHERE DISTANCE FROM EDGE OF WALL TO EDGE OF UNDISTURBED SOIL EXCEEDS 16", BUT LESS THAN 4'-0", SHALL CONSIST OF CLEAN, POROUS, SOIL COMPACTED IN 6" LAYERS TO 95 % DRY DENSITY OR PROVIDE \*4 REBAR AT 2'-0" O.C., 1'-0" BEYOND EDGE OF UNDISTURBED SOIL AND 1'-Ø" INTO FOUNDATION WALL, 1/2

15, FREE DRAINING GRANULAR BACKFILL (SM OR BETTER) SHALL BE USED AGAINST FOUNDATION WALLS CONSISTENT WITH THE ARCHITECTURAL PLANS AND RELATED DETAILS, EQUIVALENT FLUID PRESSURE OF BACKFILL NOT TO EXCEED 40PCF (POUNDS PER CUBIC FOOT). IF BACKFILL PRESSURES EXCEED 40PCF, THEN WALLS MUST BE DESIGNED FOR ACTUAL PRESSURES BY A REGISTERED PROFESSIONAL ENGINEER LICENSED IN THE LOCALITY WHERE PROJECT IS BEING BUILT, 17. UNBALANCED FILL NOT TO EXCEED 1'-0" UNLESS OTHERWISE NOTED AND SUBSTANTIATED BY ENGINEERING CALCULATIONS, BACKFILL SHALL NOT BE PLACED AGAINST WALLS UNTIL SLABS-ON-GRADE AND FRAMED FLOORS ARE IN PLACE AND HAVE REACHED THEIR DESIGN STRENGTH, PROPER PRECAUTIONS SHALL BE TAKEN TO BRACE FOUNDATION WALLS WHEN BACKFILLING, WHERE

#### <u>DIVISION 3 - CONCRETE</u> A. GENERAL:

1. CONCRETE WORK SHALL CONFORM TO ALL REQUIREMENTS OF ACI-318 SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS. 2. ALL REINFORCEMENT, ANCHOR BOLTS, PIPE SLEEVES AND OTHER INSERTS SHALL BE POSITIVELY SECURED IN PLACE AND LOCATED ACCORDING TO THE APPROPRIATE ARCHITECTURAL DRAWINGS AND DETAILS.

BACKFILL IS REQUIRED ON BOTH SIDES, BACKFILL BOTH SIDES SIMULTANEOUSLY.

SPECIFIED BY MANUFACTURER.

B. REINFORCING STEEL: 1. REINFORCING STEEL SHALL BE INTERMEDIATE GRADE NEW BILLET DEFORMED BARS GRADE 60 CONFORMING TO ASTM \$ 615, WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185, SEE ARCHITECTURAL DRAWINGS FOR SIZES AND LOCATIONS.

2. DETAILING, FABRICATING AND PLACING OF REINFORCEMENT SHALL BE IN ACCORDANCE WITH ACI-318-99

CODE REQUIREMENTS FOR STRUCTURAL CONCRETE 3. ALL REINFORCING BARS WHICH INTERCEPT PERPENDICULAR ELEMENTS SHALL TERMINATE IN HOOKS, PLACED TWO (2) INCHES CLEAR FROM OUTER FACE OF ELEMENT,

4. THE CONTRACTOR SHALL NOTIFY THE BUILDING OFFICIAL AT LEAST FORTY-EIGHT

(48) HOURS PRIOR TO EACH CONCRETE POUR NO CONCRETE SHALL BE POURED INTO FOOTINGS CONTAINING STANDING WATER OR MUD. FOOTINGS SHALL BE DEWATERED PRIOR TO PLACEMENT OF CONCRETE, NO CONCRETE SHALL BE PLACED UNTIL ALL REINFORCING HAS BEEN INSTALLED BY THE CONTRACTOR AND INSPECTED BY THE BUILDING OFFICIAL OR COUNTY APPROVED LICENSED INSPECTOR 5, MINIMUM PROTECTIVE COVER FOR REINFORCING STEEL SHALL BE AS FOLLOWS:

A. FOOTINGS: 3" B. BEAMS AND COLUMNS: 2"

C. SLAB: 3/4" (WIRE MESH TO BE PLACED AT MID-DEPTH OF SLAB) D. WALLS - 1 1/4" AT INTERIOR FACE: 3" AT EXTERIOR FACE

1. FOOTING DEPTHS ARE SHOWN ON THE ARCHITECTURAL DRAWINGS, FOOTINGS SHALL BEAR A MINIMUM OF 1"-O" INTO ORIGINAL UNDISTURBED SOIL AND A MINIMUM SIX (3) INCHES AND BE NAILED TOGETHER WITH MIN. (3) IOD FACE NAILS, ( (SEE OF 3'-0" BELOW FINISHED GRADE, WHERE REQUIRED, STEP FOOTINGS TO RATIO OF 2 ATTACHED NAILING SCHEDULE FOR SUPERCEDING REQUIREMENTS) HORIZONTAL TO 1 VERTICAL.

2. WHERE CONDITIONS DEVELOP REQUIRING CHANGES IN EXCAYATIONS, SUCH CHANGES SHALL BE MADE AS DIRECTED BY THE ENGINEER. 3, ALL FOOTING EXCAVATIONS SHALL BE INSPECTED BY THE BUILDING OFFICIAL OR COUNTY APPROVED INSPECTOR PRIOR TO THE PLACING OF ANY CONCRETE. SAME SHALL BE GIVEN FORTY-EIGHT (48) HOURS NOTICE FOR THIS OBSERVATION. 4, SOIL INVESTIGATION AND REPORT: ALL EARTH WORK, COMPACTION AND SUPERVISIONS SHALL BE DONE ACCORDING TO THE RECOMMENDATIONS OF THE SOIL INVESTIGATION REPORT PREPARED BY A LICENSED GEOTECHNICAL ENGINEER CONCRETE SLAB AND FOOTING CALCULATIONS ARE BASED ON A 2,000 PSF VALUE, IF ON-SITE TEST BORING INDICATE LESSER VALUES, NOTIFY ENGINEER, IN WRITING, SO THAT NECESSARY STRUCTURAL MODIFICATIONS CAN BE MADE. 5, SLAB-ON-GRADE SHALL BE 4" THICK REINFORCED WITH 6 imes 6 WI.4 imes WI.4 WWF AND SHALL BE PLACED ON 6 MIL, VAPOR BARRIER ON 4" CRUSHED STONE. 6, SLAB-ON-GRADE AT PORCHES SHALL BE 4" THICK UNLESS OTHERWISE NOTED. 7. INSTALL ANCHOR STRAPS AS PER MFG. RECOMMENDATIONS: 12" FROM CORNERS AND INTERVALS AS PER PLANS, MINIMUM EMBEDMENT FOR ANCHORS SHALL BE AS

8. BEAM POCKETS SHALL BE FORMED INTO CONCRETE WALLS TO PROVIDE A CONTINUOUS LEVEL FLAT SOLID BEARING SURFACE FOR ALL BEAMS.

VILLAGE OF THOMASTON

DIVISION 6 - WOOD

A. LUMBER GRADE: SOFTWOOD LUMBER STANDARD GRADING SHALL COMPLY WITH DOC PS 20-70 AND APPLICABLE WESTERN WOOD PRODUCTS ASSOCIATION STANDARDS.

1. ALL LUMBER SHALL BE, UNLESS OTHERWISE NOTED, NO. 2 GRADE, DOUGLAS FIR-LARCH WITH THE FOLLOWING MINIMUM STRUCTURAL VALUES. A EXTREME FIBER BENDING STRESS: 2 × ¢ WIDER B. HORIZONTAL SHEAR: FY = 95 PSI

C. COMPRESSION PERPENDICULAR TO GRAIN: FCL = 625 PSI D. COMPRESSION PARALLEL TO GRAIN: FC = 1300 PSI E. MODULUS OF ELASTICITY: E = 1600,000 PSI

F. MOISTURE CONTENT: 19% MAXIMUM. 2. OTHER SPECIES MAY BE USED PROVIDED SUBSTITUTED SPECIES SHALL MEET OR EXCEED REQUIREMENTS NOTED ABOVE.

3, MOISTURE CONTENT: ALL LUMBER 4" AND DEEPER SHALL HAVE MOISTURE CONTENT NOT GREATER THAN 19%, AIR DRIED LUMBER 15 DESIRED BUT NOT NECESSARY, LUMBER MAY BE KILN DRIED, HOWEVER DRYING PROCESS MUST BE SLOW AND REGULATED TO CAUSE A MINIMUM AMOUNT OF CHECKING, COMPARABLE WITH AIR DRIED STOCK 4. ALL EXTERIOR LUMBER AND LUMBER IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESSURE PRESERVATIVE TREATED IN ACCORDANCE WITH AF&PA

STANDARDS AND STAMPED "GROUND CONTACT 0.40 LBS/CUBIC FOOT". 5. GRADE STAMPS SHALL APPEAR ON ALL LUMBER. 6. STORE ALL LUMBER ABOVE GRADE AND PROTECT FROM EXPOSURE TO WEATHER.

<u>B. FLITCH BEAMS:</u>

1. FLITCH BEAMS SHALL HAVE A MINIMUM FB = 15000, E=11.4 WITH 1/2" BOLTS LOCATED NOT CLOSER THAN 2" FROM THE TOP AND BOTTOM EDGE UNLESS OTHERWISE NOTED, THERE SHALL BE A BOLT TOP AND BOTTOM 2" FROM EACH END (SEE TYPICAL FLITCH PLATE BOLT PATTERN DETAIL). C. JOIST HANGERS:

ALL PURLING, JOISTS AND BEAMS NOT FRAMED OVER SUPPORTING MEMBERS SHALL BE SUPPORTED.

2. JOIST HANGERS SHALL BE PRIME QUALITY STEEL WHICH CONFORMS TO ASTM-A525, MIN. 22 GAUGE. PRODUCTS ACCEPTABLE SHALL BE SIMPSON, KANT-SAG OR EQUIVALENT.

D. BOLTS IN WOOD FRAMING: ALL BOLTS IN WOOD FRAMING SHALL BE STANDARD MACHINE BOLTS WITH STANDARD MALLEABLE IRON WASHERS OR STEEL PLATE WASHERS,

2. STEEL PLATE WASHER SÌZES SHALL BE AS FOLLOWS: A, 1/2" AND 5/8" DIAM, BOLTS - 2-1/4" SQ,  $\times$  5/16" B. 3/4" DIA. BOLTS-2-5/8" SQ. X 5/16".

3, EACH BOLT HOLE IN WOOD SHALL BE DRILLED 1/16" LARGER THAN DIAMETER OF 4. FOR SILL ANCHORS, SEE TYPICAL DETAILS ON ARCHITECTURAL DRAWINGS.

E. LAG BOLTS: SHALL BE OF STRUCTURAL GRADE STEEL 2. WASHERS SHALL BE PLACED UNDER THE HEAD OF LAG BOLTS BEARING ON

WOOD. LENGTH OF LAG BOLTS SHALL BE MINIMUM 2/3 DEPTH OF MEMBERS BEING BOLTED TOGETHER F. ALTERING STRUCTURAL MEMBERS: 1. NO STRUCTURAL MEMBER SHALL BE OMITTED, NOTCHED, CUT, BLOCKED OUT OR

RELOCATED WITHOUT PRIOR APPROVAL BY THE ENGINEER DO NOT ALTER SIZES OF MEMBERS NOTED WITHOUT APPROVAL OF ENGINEER. G. BUILT-UP BEAMS:

, BUILT-UP BEAMS OR JOISTS FORMED BY A MULTIPLE OF 2 imes MEMBERS SHALL BE INTERCONNECTED AS FOLLOWS: A, MEMBERS 9-1/4" AND LESS IN DEPTH: GLUE AND INTERNAIL W/2 ROWS 16D

NAILS AT 12" O.C. STAGGERED. B. MEMBERS GREATER THAN 9-1/4" IN DEPTH OR MULTIPLE 3 X MEMBERS THROUGH BOLT WITH 1/2" DIAMETER MACHINE BOLTS AT 24" O.C. STAGGERED. <u>1, cutting of BEAMS, Joist and RAFTERS</u>

CUTTING OF WOOD BEAMS, JOISTS AND RAFTERS SHALL BE LIMITED TO CUTS AND BORED HOLES NOT DEEPER THAN 1/6 THE DEPTH OF THE MEMBER AND SHALL NOT BE LOCATED IN THE MIDDLE OF 1/3 OF THE SPAN, NOTCH DEPTH OF THE ENDS AT THE MEMBER SHALL NOT EXCEED 1/4 THE DEPTH OF THE MEMBER, HOLES BORED OR OUT INTO JOIST SHALL NOT BE CLOSER THAN 2 INCHES TO THE TIP OR BOTTOM OF THE JOISTS AND THE DIAMETER OF THE HOLE SHALL NOT EXCEED 1/3 THE DEPTH OF THE JOIST. THE TENSION SIDE OF BEAMS, JOISTS AND RAFTERS OF 4 INCHES OR GREATER NOMINAL THICKNESS SHALL NOT BE NOTCHED, EXCEPT AT

PIPES IN STUD BEARING NAILS OR SHEAR NAILS: . NOTCHES OR BORED HOLES TO STUDS OF BEARING WALLS OR PARTITIONS SHALL NOT BE MORE THAN 1/3 THE DEPTH OF THE STUD J. BRIDGING AND BLOCKING:

THERE SHALL BE NOT LESS THAN ONE LINE OF BRIDGING IN EVERY EIGHT FEET OF FOR THE INSTALLATION IS PROVIDED. STORAGE SHOULD BE IN ACCORDANCE WITH SPAN IN FLOOR, ATTIC AND ROOF FRAMING. THE BRIDGING SHALL CONSIST OF NOT LESS THAN ONE BY THREE INCH LUMBER DOUBLE NAILED AT EACH END OR OF EQUIVALENT METAL BRACING OF EQUAL RIGIDITY, MIDSPAN BRIDGING IS NOT REQUIRED FOR ATTIC OR ROOF FRAMING WHERE JOIST DEPTH DOES NOT EXCEED TWELVE INCHES NOMINAL, BLOCK SOLID AT ALL BEARING SUPPORTS WHERE ADEQUATE LATERAL SUPPORT IS NOT OTHERWISE PROVIDED, BLOCK ALL STUD WALLS AT MAXIMUM INTERVALS OF EIGHT FEET WITH MINIMUM OF  $2 \times SOLID$ MATERIAL WITH TIGHT JOINTS, PROVIDE 2 X FIRESTOPS AT MID-POINT VERTICALLY OF STUD WALL, BRIDGING AS REQUIRED BY FLOOR TRUSS MANUFACTURER'S PRINTED INSTRUCTIONS.

K. LINTEL SCHEDULE: 1. UNLESS OTHERWISE SHOWN, PROVIDE I LINTEL WITH 6" MINIMUM BEARING FOR EACH 4" OF WALL THICKNESS.

2. LINTEL SCHEDULE: <u>SPAN</u> <u>SIZE OF MEMBER</u> (3)3½"X½" OR (2)2X6 UP TO 4'-0" 4'-1" TO 5'-0" (4)3½"×%" OR (2)2×8 5'-1" TO 6'-0" (5)3½"×¾" OR (2)2×10 6'-1" TO 8'-0"

(6)3½"×%" OR (2)2×12 <u>.. PLYWOOD:</u> , ALL PLYWOOD SHALL BE DOUG FIR OR EQUAL, IT SHALL BE MANUFACTURED AND GRADED IN ACCORDANCE WITH GUIDE FOR CONSTRUCTION AND INDUSTRIAL

2. EACH PLYWOOD SHEET SHALL BEAR THE "APA" TRADEMARK. 3, ALL END JOINTS SHALL BE STAGGERED AND SHALL BUTT ALONG THE CENTER LINES OF FRAMING MEMBERS. 4. THE FACE GRAIN OF THE PLYWOOD SHALL BE LAID AT RIGHT ANGLES TO THE

JOISTS AND TRUSSES AND PARALLEL TO THE STUDS. 5, NAILS SHALL BE PLACED 3/8" MINIMUM FROM THE EDGE OF THE SHEETS, THE MINIMUM NAIL PENETRATION INTO FRAMING MEMBERS SHALL BE 1 1/2" FOR 8D NAILS AND 13/8" FOR 10D NAILS, 6. ALL FLOORS SHALL BE NAILED AS PER NAILING SCHEDULE.

M. CORNER BRACING: , UNLESS OTHERWISE NOTED, BRACE EXTERIOR CORNERS OF BUILDING WITH 1 imes 4 DIAGONALS, LET INTO STUDS, OR WITH 4 X 8 PLYWOOD SHEET OF THICKNESS TO MATCH THAT OF SHEATHING, OR WITH METAL STRAP DEVICES INSTALLED IN ACCORDANCE NAILING SCHEDULE.

1. ALL NAILING SHALL COMPLY WITH NAILING SCHEDULES IN WFCM, (SEE ATTACHED SCHEDULE) AND ALL STATE AND LOCAL BUILDING CODES, OR MAUFACTURER'S RECOMMENDATIONS.

O. FIRE STOPPING: FIRE STOPPING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) WITH 2" NOMINAL LUMBER OR 2 THICKNESSES OF 1" NOMINAL LUMBER WITH BROKEN LAP JOINTS OR OTHER APPROVED MATERIAL.

<u>P. ALÌGNMENT:</u> ALL RAFTERS AND JOISTS FRAMING FROM OPPOSITE SIDES SHALL LAP AT LEAST 2. WHEN FRAMING END TO END JOISTS SHALL BE SECURED TOGETHER BY METAL STRAPS,

Q. PARTITIONS: , GENERAL:

A, PROVIDE SOLID BLOCKING AT 4'-O" O.C. BETWEEN THE JOIST AND FIRST INTERIOR PARALLEL JOIST. B. SPLICES OF THE TOP AND BOTTOM PORTION OF DOUBLE TOP PLATES MUST BE STAGGERED A MINIMUM OF 4'-0".

C. SPLICES SHALL OCCUR ONLY DIRECTLY OVER STUDS. D. STRUCTURAL VARIATIONS ARE ALLOWED IF SUBSTANTIATED BY ENGINEERING CALCULATIONS, STAMPED BY PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN LEVEL OF THE DWELLING, INCLUDING THE BASEMENT OR CELLAR THE JURISDICTION WHERE CONSTRUCTION IS TAKING PLACE, ONE SET OF CALCULATIONS TO BE PROVIDED TO ENGINEER FOR APPROVAL PRIOR TO

E. LAP TOP PLATES AT CORNERS AND INTERSECTIONS.

2. BEARING WALLS SUPPORTING ONE FLOOR OR MORE: A. PARTITIONS MUST BE CONSTRUCTED OF MINIMUM 2 X 4 STUDS SPACED 16" O.C. OF TYPE LUMBER SPECIFIED.

B. IF A DOUBLE TOP PLATE OF LESS THAN 2-2 imes 6'S OR 3-2 imes 4'S IS USED, FLOOR JOISTS SHALL BE CENTERED DIRECTLY OVER AND BELOW BEARING WALL STUDS WITH A TOLERANCE OF NO MORE THAN 1" UNLESS SUBSTANTIATED BY ENGINEERING:

C. BEARING STUD WALLS MUST BE SHEATHED WITH A MINIMUM 1/2" GYPSUM BOARD FASTENED ACCORDING TO DRYWALL MANUFACTURER RECOMMENDATION. <u>DÍVISION 7 - THERMAL AND MOISTURE PROTECTION</u>

FIBERGLASS SHINGLES: THIRTY (30) YEAR SELF SEALING SHINGLES OVER 1 LAYER OF 30\* ASPHALT SATURATED FELT UNDERLAYMENT UNLESS OTHERWISE NOTED. INSTALL ACCORDING TO MANUFACTURER'S INSTRUCTIONS. 2. CEDAR SHAKES: \*2 GRADE RED-LABEL CEDAR SHAKES (18" 1 × 45"T) OVER

ONE LAYER 30# A.S.F. UNDERLAYMENT. INSTALL WITH 4 1/2" WEATHER EXPOSURE. APPLY AN 18" WIDE STRIP OF 30" A.S.F. OVER EACH COURSE OF SHAKES, 9" FROM BOTTOM EDGE OF SHAKE EXTENDING OVER TOP OF SHAKE AND ONTO SHEATHING. 3. EAVE FLASHING: SEE NOTE B-4, BELOW. 1. ALL FLASHING, COUNTER FLASHING, AND COPING WHEN OF METAL SHALL BE OF

NOT LESS THAN NO. 26 U.S. GAUGE CORROSION-RESISTANT METAL

2. FLASH ALL EXTERIOR OPENINGS AND ALL BUILDING CORNERS WITH APPROVED MATERIAL TO EXTEND AT LEAST 4" BEHIND WALL COVERING. COVER ALL EXPOSED PLYWOOD AT BUILDING CORNERS WITH WATERPROOF BUILDING PAPER. 3. STEP FLASH AT ALL ROOF TO WALL CONDITIONS. FLASH AND CAULK WOOD BEAMS AND OTHER PROJECTIONS THROUGH EXTERIOR WALLS OR ROOF SURFACES. 4. EAVE FLASHING SHALL CONSIST OF TWO LAYERS OF 15# A.S.F. CEMENTED TOGETHER IN ADDITION TO REQUIRED NAILING FROM THE EDGE OF THE EAVE UP THE ROOF TO OVERLAY A POINT 24 INCHES INSIDE THE INTERIOR WALL LINE OF THE BUILDING.

<u>C. ATTIC VENTILATION:</u> 1. ENCLOSED ATTIC TRUSS SPACES AND ENCLOSED ROOF RAFTERS SHALL HAVE CROSS VENTILATION FOR SEPARATE SPACE WITH SCREENED VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE OF MOISTURE AND RAIN IN ACCORDANCE WITH THE WFCM, AND NYS AND LOCAL CODES AND ORDINANCES.

SEE DETAILS ON ARCHITECTURAL PLANS FOR LOCATIONS AND DETAILS,

DIVISION 8 - DOORS AND WINDOWS

I WINDOWS IN BUILDINGS LOCATED IN WIND-BORNE DEBRIS REGIONS (WITH-IN DISTANCES OF THE OCEAN, BAY AND SOUND) SHALL HAVE GLAZED OPENINGS PROTECTED FROM WIND-BORNE DEBRIS OR THE BUILDING SHALL BE DESIGNED AS A PARTIALLY ENCLOSED BUILDING IN ACCORDANCE WITH THE BUILDING CODE OF NEW YORK STATE, GLAZED OPENING PROTECTION FOR WIND-BORNE DEBRIS SHALL MEET THE REQUIREMENTS OF THE LARGE MISSILE TEST OF ASTME 1996 AND OF ASTME 1886.

WOOD STRUCTURAL PANELS WITH A MINIMUM THICKNESS OF 7/16 INCH (11.1 MM) AND A MAXIMUM SPAN OF 8 FEET (2438 MM) SHALL BE PERMITTED FOR OPENING PROTECTION IN ONE- AND TWO-STORY BUILDINGS, PANELS SHALL BE PRECUT TO COVER THE GLAZED OPENINGS WITH ATTACHMENT HARDWARE PROVIDED. ATTACHMENTS SHALL BE PROVIDED IN ACCORDANCE WITH TABLE R3022.12 OR SHALL BE DESIGNED TO RESIST THE COMPONENTS AND CLADDING LOADS DETERMINED IN ACCORDANCE WITH THE PROVISIONS OF THE RESIDENTIAL CODE OF

NEW YORK STATE. 2. ALL WINDOWS SHALL HAVE INSULATING GLASS, OR SINGLE GLASS WITH STORM WINDOWS OR EQUAL, SIZES INDICATED ON PLANS ARE NOMINAL ONLY, BUILDER TO CONSULT WITH WINDOW MANUFACTURER TO DETERMINE EXACT SIZES, ROUGH OPENING, ETC. AT LEAST ONE WINDOW FROM EACH BEDROOM AREA SHALL HAVE A NET CLEAR OPENING AREA OF 5.7 SQ. FT. (GRADE FLOOR 5.0 SQ. FT.) WITH A NET CLEAR HEIGHT OF 24", A NET CLEAR OPENING WIDTH OF 20", AND A SILL HEIGHT OF 44" OR LESS ABOVE THE FLOOR FOR EGRESS PURPOSES, GLAZING IN DOORS AND FIXED GLAZED PANELS IMMEDIATELY ADJACENT TO DOORS OR WITHIN 18" OF THE FLOOR, WHÌCH MAY BE SUBJECT TO FREQUENT AND RECURRENT ACCIDENTAL HUMAN IMPACT SHALL BE TEMPERED AS PER RESIDENTIAL CODE OF NEW YORK STATE AND LOCAL CODES AND ORDINANCES.

I ALL GYPSUM WALLBOARD SHALL BE INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF THE RESIDENTIAL CODE OF NEW YORK STATE AND LOCAL CODES AND ORDINANCES (AS APPLICABLE) 2. GYPSUM WALLBOARD SHALL NOT BE INSTALLED UNTIL WEATHER PROTECTION

MANUFACTURER'S INSTRUCTIONS. 3, ALL EDGES AND ENDS OF GYPSUM WALLBOARD SHALL OCCUR ON THE FRAMING MEMBERS EXCEPT THOSE EDGES WHICH ARE PERPENDICULAR TO THE FRAMING MEMBERS, ALL EDGES OF GYPSUM WALLBOARD SHALL BE IN MODERATE CONTACT EXCEPT IN CONCEALED SPACES WHERE FIRE RESISTIVE CONSTRUCTION IS NOT

REQUIRED. 4. THE SIZES AND SPACING OF FASTENERS SHALL COMPLY WITH THE RESIDENTIAL CODE OF NYS AND LOCAL CODES AND ORDINANCES (AS APPLICABLE). 5, PROVIDE MOISTURE RESISTANT DRYWALL CEMENT BOARD AT TUBS AND SHOWERS AS SHOWN ON DETAILS IN ARCHITECTURAL DRAWINGS.

6. FIRE-RESISTIVE CONSTRUCTION: GARAGE CEILINGS AND WALLS WHEN ADJACENT TO A DWELLING UNIT SHALL BE OF RATED CONSTRUCTION ACCORDING TO THE UL DESIGN SPECIFIED ON THE DRAWINGS WHEN UNITS ARE DESIGNED UNDER NYS STANDARDS AS INDICATED ON THE DRAWINGS, (5/8" TYPE imes WALLS AND CEILINGS)

<u>DIVISION 15 - MECHANICAL</u>

A. HEATING VENTILATION AND AIR CONDITIONING: 1. ALL WORK SHALL BE IN FULL ACCORDANCE WITH ALL CURRENT CODES AND REGULATIONS OF THE GOVERNING AGENCIES. 2. MECHANICAL SUBCONTRACTOR TO SUBMIT SHOP DRAWINGS INDICATING DUCT

LAYOUTS, CONDENSER LOCATION, DUCT SIZES, ETC. TO ENGINEER PRIOR TO INSTALLATION. MECHANICAL SUBCONTRACTOR TO REVIEW STRUCTURAL SHOP DRAWINGS AND NOTIFY THE ENGINEER OF ANY MECHANICAL AND STRUCTURAL AND DESIGN INTENT CONFLICTS PRIOR TO CONSTRUCTION. 3. ALL WORK SHALL BE DONE IN A NEAT AND WORKMANLIKE MANNER AND SO AS TO NOT NEEDLESSLY HAMPER THAT PORTION OF THE WORK PERFORMED BY

<u>B. PLUMBING:</u> 1. ALL WORK SHALL BE IN FULL ACCORDANCE WITH ALL CURRENT CODES AND REGULATIONS OF GOVERNING AGENCIES. 2, ALL WORK SHALL BE DONE IN A NEAT AND WORKMANLIKE MANNER AND SO AS TO NOT NEEDLESSLY HAMPER THAT PORTION OF THE WORK PERFORMED BY

3. PLUMBING SUBCONTRACTOR TO REVIEW STRUCTURAL AND MECHANICAL DRAWINGS AND NOTIFY THE ENGINEER OF ANY PLUMBING, HYAC, STRUCTURAL AND DESIGN INTENT CONFLICTS PRIOR TO CONSTRUCTION.

I. ALL WORK SHALL BE IN FULL ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES AND SHALL COMPLY WITH THE REQUIREMENTS OF THE

SERVING POWER AND TELEPHONE COMPANIES. 2, ALL WORK SHALL BE DONE IN A NEAT AND WORKMANLIKE MANNER AND SO AS TO NOT NEEDLESSLY HAMPER THAT PORTION OF THE WORK PERFORMED BY 3, INSTALLATION:

A, ALL EQUIPMENT INSTALLED OUTDOOR AND EXPOSED TO WEATHER SHALL BE WEATHERPROOF. B. BOTTOM OF RECEPTACLES AND SWITCHES SHALL BE LOCATED 5" ABOVE

COUNTER TOP UNLESS OTHERWISE NOTED ON DRAWINGS. C. RECEPTACLES SHALL BE INSTALLED VERTICALLY AT 12" ABOVE FINISH FLOOR AND 12'-0" O.C. HORIZONTALLY. ALL RECEPTACLES WITHIN 6'-0" HORIZONTALLY OF A SINK LAYATORY OR TUB SHALL BE WIRED TO A GROUND FAULT INTERRUPTED CIRCUIT

D. WALL SWITCHES TO BE 48" ABOVE FLOOR. E. ALL SMOKE DETECTORS TO BE LINE VOLTAGE AND WIRED IN A MANNER SUCH THAT THE ACTIVATION OF ONE WILL ACTIVATE ALL, EACH FLOOR LEVEL TO HAVE AT LEAST ONE SMOKE DETECTOR EACH BEDROOM TO HAVE ITS OWN SMOKE DETECTOR IN ADDITION TO A SMOKE DETECTOR LOCATED IN A HALLWAY OUTSIDE

F. A LINE VOLTAGE CARBON MONOXIDE DETECTOR SHALL BE LOCATED AT EACH

NOTES

NOT FOR CONSTRUCTION NEED DRB APPROVAL

NEED BZA APPROVAI

**SUBMISSIONS** 

| # | DATE     | DESCRIPTION        |
|---|----------|--------------------|
| 1 | 12.09.24 | INITIAL SUBMISSION |
| 2 | 01.20.25 | RESUBMISSION       |
| 3 | 02.14.25 | RESUBMISSION       |
| 4 | 03.20.25 | BZA SUBMISSION     |
| 5 | 06.11.25 | ARB SUBMISSION     |
|   |          |                    |
|   |          |                    |
|   |          |                    |
|   |          |                    |

EST. - 2009

JARED MANDEI

ARCHITECTS 25 HILLSIDE AVE. WILLISTON PARK - N.Y.

P: 5 1 6 - 6 2 9 - 9 0 6 0 F: 516 - 750 - 9008 Email: Info@ Mandelarchitects.com

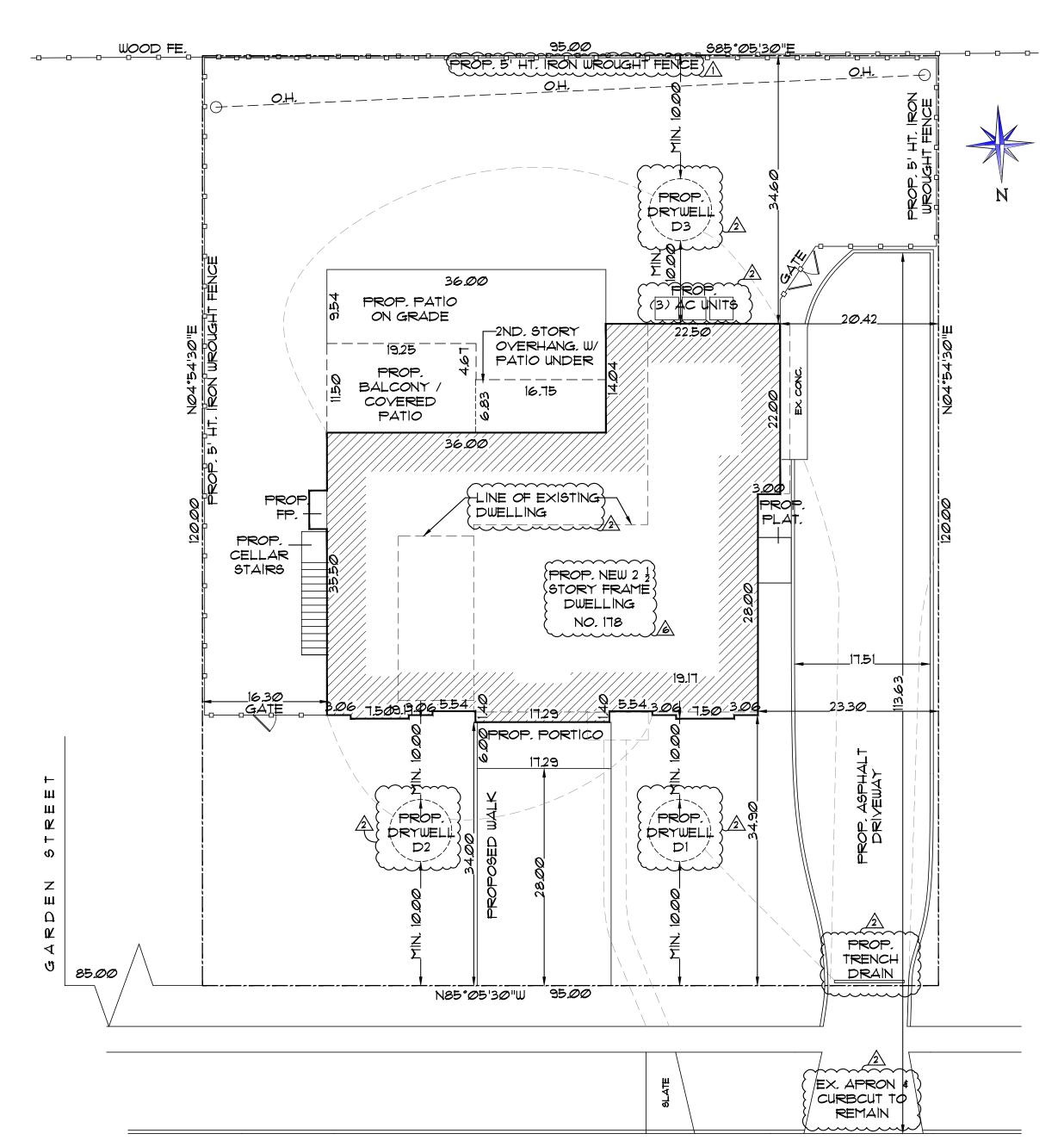


PRIVATE RESIDENCE 178 OVERLOOK AVENUI GREAT NECK, NY 11021

GENERAL NOTES

| =            |
|--------------|
| ED BY: J.M.  |
| SHEET NUMBER |
|              |

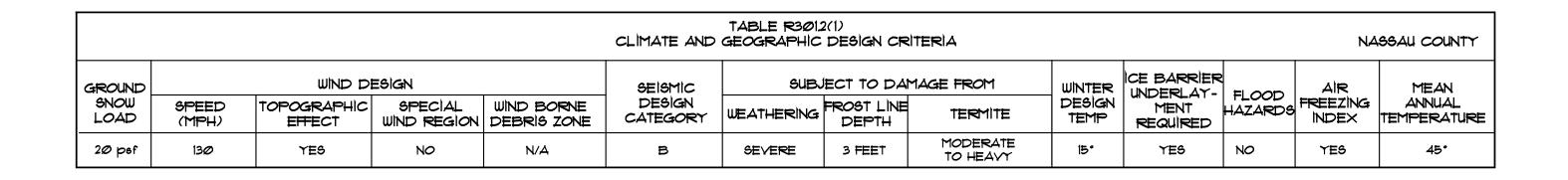
AS NOTED

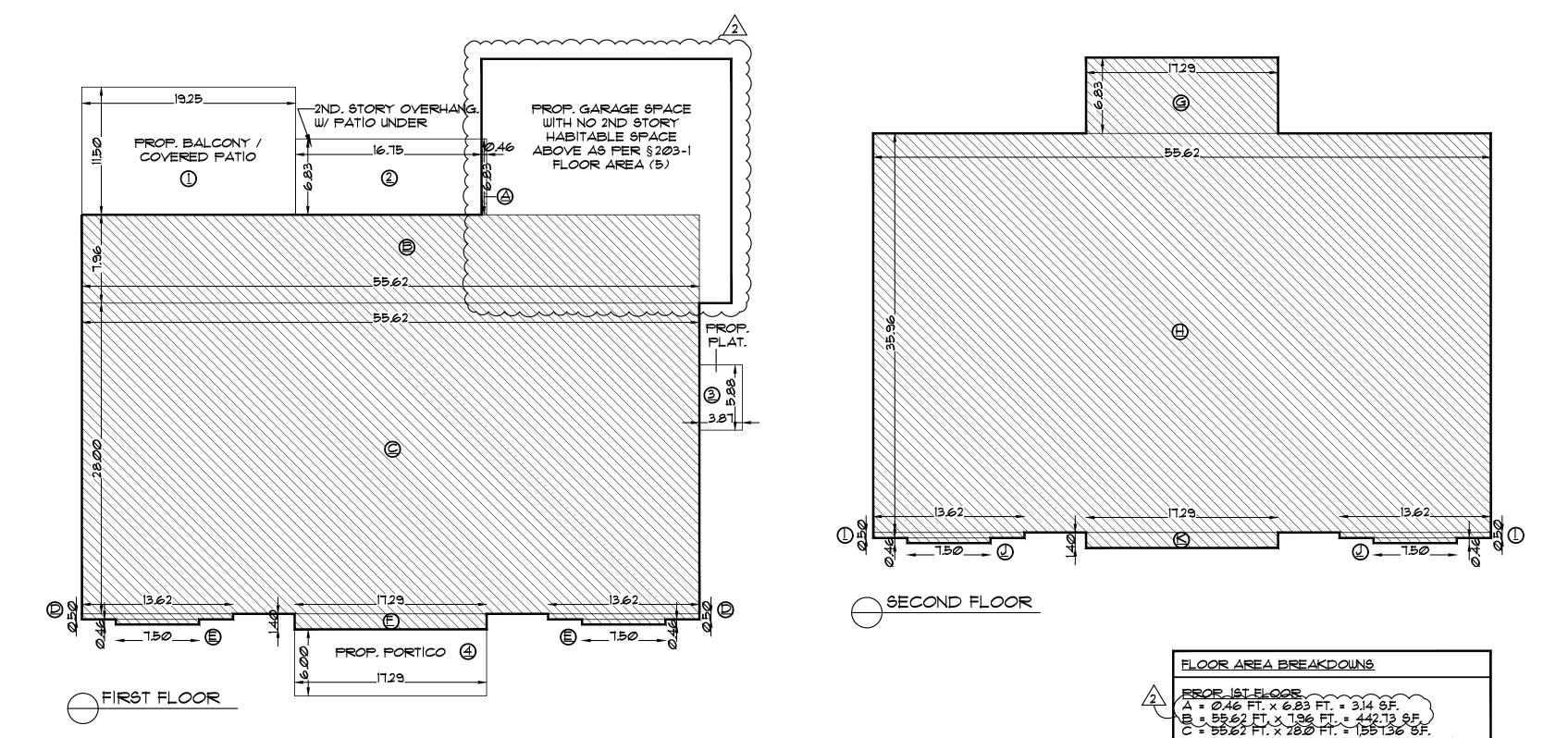


OVERLOOK AVENUE

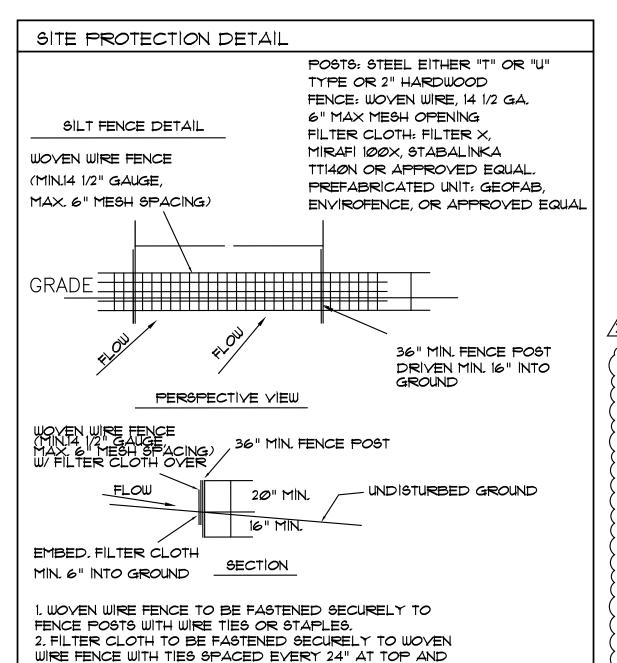
# 1 PLOT PLAN Z-1 SCALE: 3/32" = 1'-0"

|                  | ZONING AT<br>178 OVERLOOK AV<br>GREAT NECK, NY 11 | ENUE                             | RESIDE                | E OF THOMASTON<br>:NCE: R-9<br>N: 2, BLOCK: 257, LOT: 245 |  |
|------------------|---|----------------------------------|-----------------------|---|--|
|                  | ISSUE   | REQUIRED/ PERMITTED              | EXISTING              | PROPOSED  |  |
|                  | LOT AREA  | 9,000 SF.                        | 11,400.0 S.F.         | 11,400 S.F. (NO CHANGE)                                   |  |
|                  | LOT WIDTH   | 85.Ø FT.                         | 95.Ø FT.              | 95,0 FT. (NO CHANGE)                                      | ^  |
|                  | LOT COVERAGE                                      | 25% = 2,850.0 S.F.               | 13.62% = 1553.18 S.F. | 24.9% = 2,848.9 SF.                                       | /2\  |
| $\left( \right $ | FLOOR AREA  | 40% (9,880 S.F.)<br>= 3,952 S.F. | 2460% = 280520 SF.    | 42.61% = 4,210.85 S.F.                                    | -variance req.                                   |
|                  | FRONT YARD  | AFY9B = 33.91 FT.                | 25 4 57               | 36.72 FT.   |  |
|                  |   | A 10D - 33,3111,                 | 35,4 FT.              | 36.12 F1.   | / 2  |
|                  | MIN. SIDE YARD<br>AGGREGATE                       | 3 <i>0.00</i> FT.                | 44.7 FT.              | 39.5 FT.  | <del>\                                    </del> |
|                  | MIN, SIDE YARD                                    | 10.0 FT.                         | 19,4 FT.              | 16.3 FT.  |  |
|                  | MIN. REAR YARD                                    | 35.Ø FT.                         | 34.5 FT.              | 346 FT.   |  |
|                  | MAX BUILDING HEIGHT                               | 2 1/2 STY./ 30.00 FT.            | 28.56 FT.             | 30.0 FT.  |  |









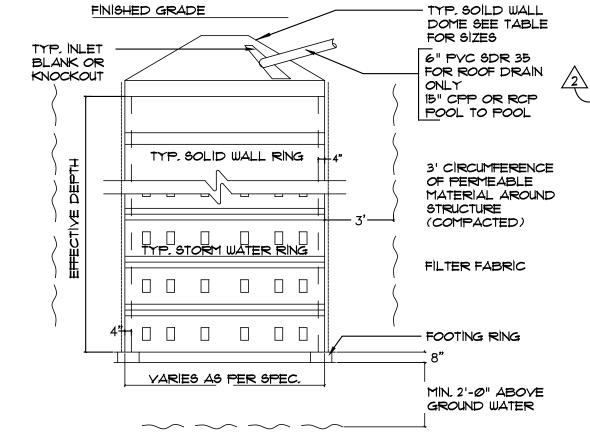
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH

OTHER THEY SHALL BE OVERLAPPED BY 6" AND FOLDED.

MATERIAL REMOVED WHEN "BULGES" DEVELOP IN SILT FENCE.

4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND

MID. SECTION.



STORM WATER DRAINAGE CALCULATIONS REQUIRED LEACHING POOLS: D2D3 RAINFALL: 4.0"=0.33 FT RAINFALL: 40"=0.33 FT RAINFALL: 4.0"=0.33 FT PROP. REAR OF DWELLING (1,816) PROP. PATIO ON GRADE (403) PROP. FRONT OF DWELLING (1,250) PROP. DRIVEWAY (1,752) 1250 × 33= 41250 CF 2,219 × .33= T32.2T C.F 1,752 × 33= 578.16 CF TOTAL REQUIRED = 1,722.93 C.F. PROVIDED YOLUME (STORM WATER RINGS) (2)8'-0" x 5'-0" \$ (1)8'-0" × 4'-0" (2)8'-Ø" x 5'-Ø" (3)8'-0" × 5'-0" \$ (1)8'-0" × 3'-0" 3 x211.10 C.F. + 1 x126.66 C.F. 2 x211.10 C.F. + 1 x168.88 C.F. 2 x211.10 C.F. =591.08 CF =422*2* C.F =759,96 C.F TYP, PLAN SPECIFICATION 8'-0" DIA, LEACHING POOL W/ (2) 5'-0" 8'-0" DIA, LEACHING POOL W/ (3) 5'-0" \$ (1) 3'-0" 8'-0" DIA, LEACHING POOL W/ (2) 5'-0" \$ (1) 4'-0" STORM RINGS STORM RINGS STORM RINGS

NEED DRB APPROVAL
NEED BZA APPROVAL

NOTES

NOT FOR CONSTRUCTION

SUBMISSIONS

# DATE DESCRIPTION
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EST. - 2009

JARED MANDEL

25 HILLSIDE AVE. WILLISTON PARK - N.Y. P: 516 - 629 - 9060 F: 516 - 750 - 9008

Email: Info@ Mandelarchitects.com

ARCHITECTS



PRIVATE RESIDENCE 178 OVERLOOK AVENUE GREAT NECK, NY 11021

PAGE CONTEN

D = 13.62 FT. x 0.50 FT. = 6.81 S.F. (X2) = 13.62 E = 7.50 FT. x 0.46 FT. = 3.45 S.F. (X2) = 6.9

| = 13.62 FT. x 0.50 FT. = 6.81 S.F. (X2) = 13.62 | J = 7.50 FT. x 0.46 FT. = 3.45 S.F. (X2) = 6.9

<u>PROP. 2ND FLOOR</u> G = 17.29 FT. x 6.83 FT. = 118.09 S.F. H = 55.62 FT. x 35.96 FT. = 2.000.09 S.F.

F = 1729 FT. x 140 FT. = 2420 S.F.

K =1729 FT. x 1.40 FT. =2420 S.F.

TOTAL PROPOSED = 4210.85 S.F.

LOT COVERAGE BREAKDOWN

1ST FLOOR TOTAL = 2,383,64 S.F.

) = 19.25 FT. x 11.5 FT. = 221.37 S.F.

2) = 16.75 FT. × 6.83 FT. =114.40 SF. 3) = 3.87 FT. × 5.88 FT. =22.75 SF.

 $4) = 17.29 \text{ FT.} \times 6.00 \text{ FT.} 1003.74 \text{ S.F.}$ 

TOTAL PROPOSED = 2,848.9 S.F.

TOTAL = 2,047,95 S.F.

TOTAL = 2,162.9 S.F.

PROP. 1ST FLOOR

TOTAL = 46526 S.F.

PROP. EXT.

PLOT PLAN, ZONING

DRAWN BY: M.L. CHECKED BY: J.M.

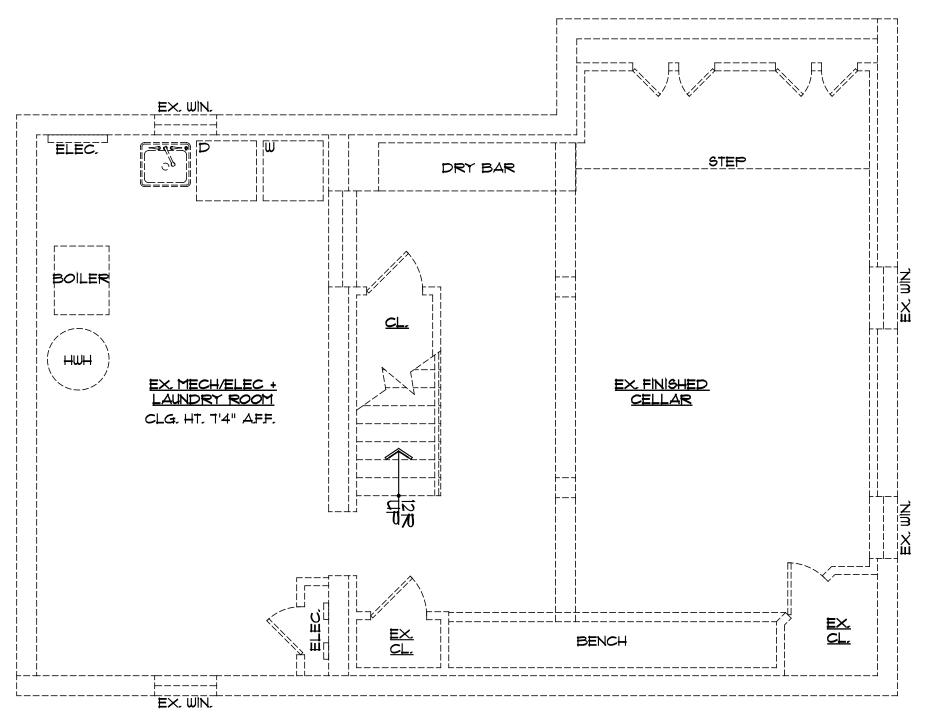
PROJECT #: 24048 SHEET NUMBER

24048

ATE: 08.27.24

CALE: AS NOTED

Z-1



#### SITE NOTES:

- SURVEYOR SHOULD STAKE-OUT ALL PROPOSED WORK AND PROVIDE A FOUNDATION SURVEY TO THE ARCHITECT AND BUILDING DEPARTMENT UPON COMPLETION OF THE FOUNDATION BEFORE PROCEEDING WITH FRAMING CONSTRUCTION. ARCHITECT SHOULD BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES.
- 2. REPAIR AND/OR REPLACE DAMAGED SIDEWALKS, CURBS, STREET PAVING AND CURB CUTS AS PER DEPT. OF PUBLIC WORKS REQUIREMENTS.
- 3. SEE LANDSCAPE PLANS AND ENGINEERING PLANS FOR ALL DRYWELL AND SEPTIC CALCULATIONS/DETAILS AND SIZING.
- 4. SOIL EROSION & ADJACENT PROPERTY
  PROTECTION CONTRACTOR SHALL PROTECT
  ADJACENT PROPERTIES FROM SOIL EROSION
  WHERE REQUIRED, PROVIDE HAY BALES
  RECESSED 4" (MINIMUM) BELOW GRADE AND
  STAKED ALONG WITH SILT FENCE, LOCATION AND
  EXTENT OF FENCE AND HAY BALES SHALL BE
  DETERMINED AND COORDINATED IN THE FIELD
  AND APPROVED BY THE BUILDING INSPECTOR.
  SEE DETAILS.

### EXISTING CONDITION GENERAL NOTES

THE PURPOSE OF THESE PLANS IS NOT TO DESCRIBE

THE EXISTING PHYSICAL CONDITIONS OF THE BUILDING, OUR WALKTHROUGH MAY OR MAY NOT AID IN CHECKING FOR GENERAL CODE CONFORMANCE TO ASSESS THE CURRENT FIELD CONDITIONS, IT SHOULD ALSO BE NOTED THAT THESE FINDINGS ARE BASED ON A LIMITED FIELD VISIT AND THAT TESTING, PROBING AND ADDITIONAL INFORMATION WILL BE REQUIRED TO REACH FULL CONCLUSIONS, ALL RECOMMENDATIONS OR SUGGESTIONS ARE PROVIDED TO ASSIST THE CLIENT IN FINDING OR CORRECTING THE NOTED DESCRIBED DEFICIENCIES. OUR SUGGESTIONS ARE NOT SPECIFICATIONS. FURTHERMORE, OUR FIELD VISIT WAS LIMITED VISUAL EXAMINATION OF CERTAIN READILY ACCESSIBLE SYSTEMS AND COMPONENTS, IT SHOULD ALSO BE NOTED THAT AN ARCHITECT IS A GENERALIST AND IS NOT AN EXPERT IN ANY SPECIFIC CRAFT OR TRADE AD THEREFORE IF AN ARCHITECT RECOMMENDS FURTHER ACTION INCLUDING (BUT NOT LIMITED TO) CONSULTING WITH A SPECIALIZED EXPERT(S), YOU MUST DO SO AT YOUR EXPENSE OR OTHERWISE ASSUME ALL RISKS ASSOCIATED WITH FAILURE TO DO SO. THIS INSPECTION IS NOT TECHNICALLY EXHAUSTIVE, THE ARCHITECT IS NOT RESPONSIBLE FOR DISCOVERING OR RECORDING ON THE PRESENCE OF MOLD OR MILDEW, LEAD, ASBESTOS, RADON, OR ANY OTHER HAZARDOUS SUBSTANCES. IT IS NOT THE INTENTION OF THESE PLANS TO

COMPLETELY DOCUMENT THE EXISTING "AS-BUILT"
CONDITIONS OF EVERY ELEMENT, NOR TO DEFINE THE
CONSTRUCTION MEANS AND METHODS, OR EVALUATE
DEFECTS, THESE PLANS ARE SIMPLY TO EVALUATE
THE BASIC CONDITION OF THE BUILDING BASED ON
OUR VISUAL OBSERVATIONS BY THE NAKED EYE. WE
HAVE NOT UNCOVERED ANY FINISH MATERIALS, AND
IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY
THE ARCHITECT AND/OR ENGINEER OF ANY DEFECTS,
DISCREPANCIES, OMISSIONS, DANGEROUS
CONDITIONS, ETC. THESE PLANS ARE NOT A
GAURENTEE OR WARRANTY ON THE PHYSICAL
CONDITION OF THE PROJECT, ITS BUILDING
COMPONENTS, OR ITS FUTURE PERFORMANCE.

### DEMOLITION NOTES

- 1. ALL REMOVALS SHALL BE PERFORMED IN KEEPING WITH THE BEST SAFETY PRACTICES IN
- ACCORDANCE WITH ALL LOCAL VILLAGE, CITY, STATE AND/OR FEDERAL LAWS GOVERNING THE SAME.

  2. ALL EXISTING CONSTRUCTION, SUCH AS COLUMNS, PIERS AND STRUCTURAL (BEARING) PARTITIONS, WHERE DISTURBED DUE TO ADJUSTMENT/DEMOLITION, ARE TO BE REPLACED AND REPAIRED WITH MATERIAL TO MATCH EXISTING CONSTRUCTION, MASONRY OPENINGS MUST BE FILLED WITH SAME MATERIAL.
- MATERIAL.

  3. THE CONTRACTOR SHALL VERIFY ALL FLOOR JOIST SPACING AND FRAMING INDICATED ON DRAWINGS.
- NOTIFY THE ARCHITECT AND OWNER IMMEDIATELY IF CONDITIONS VARY.

  4. THE WATER SUPPLY MUST BE DISCONNECTED PRIOR TO THE DEMOLITION OF ALL PLUMBING AND
- EQUIPMENT PIPING, FLOOR DRAINS AND PLUMBING FIXTURES, OBTAIN PROPER PERMITS PRIOR TO COMMENCEMENT OF WORK.
- 5. ALL UNUSED PLUMBING AND EQUIPMENT LINES MUST BE REMOVED AND CAPPED AT THE MAIN RISER OR BRANCH CONNECTION.
- 6. REMOVE ALL UNUSED ELECTRICAL LIGHTING FIXTURES, CEILING FANS, OUTLETS, SWITCHES,
  RECEPTACLES, PANELS, WIRING, CABLING, CONDUIT AND OTHER EQUIPMENT BACK TO THE SOURCE BY
- A LICENSED ELECTRICIAN WITH PROPER PERMITS AND INSURANCE.

  7. GENERAL CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT REQUIRED TO PERFORM THE WORK OF THIS SECTION AS SHOWN ON THE DRAWINGS AND/OR SPECIFIED HEREIN, IN
- GENERAL, THE WORK SHALL INCLUDE BUT NOT NECESSARILY BE LIMITED TO WORK SPECIFIED HEREIN.

  8. REMOVE ALL EXISTING ROOF STRUCTURE ABOVE DWELLING, RAFTERS, WALLS, CEILINGS, WOOD
  FLOORING AND MOULDINGS AT ENTIRE SECOND FLOOR, REMOVE ALL PLASTER CEILING AND WALL
  SURFACES, FLOORING AND WOOD MOULDINGS AT ENTIRE FIRST FLOOR.
- 9. REMOVE ALL EXISTING INTERIOR WALLS, WINDOWS AND DOORS AS SHOWN ON PLANS.
  10. REMOVE ALL EXISTING STAIRS AND PROVIDE NEW STAIR FRAME OPENING WITH DOUBLE JOISTS
- AROUND PERIMETER SEAL OPENING WITH FLOOR JOISTS AND FLOORING TO MATCH EXISTING.

  REMOVE ALL EXISTING BRICK VENEER AT DWELLING AND GARAGE.
- P. REMOVE EXISTING BRICK MASONRY CHIMNEY AND FLUE, THE EXISTING FOUNDATION SHALL REMAIN.

  REMOVE PORTIONS OF EXISTING REAR WALL, PORTION OF EXISTING FOUNDATION SHALL REMAIN.

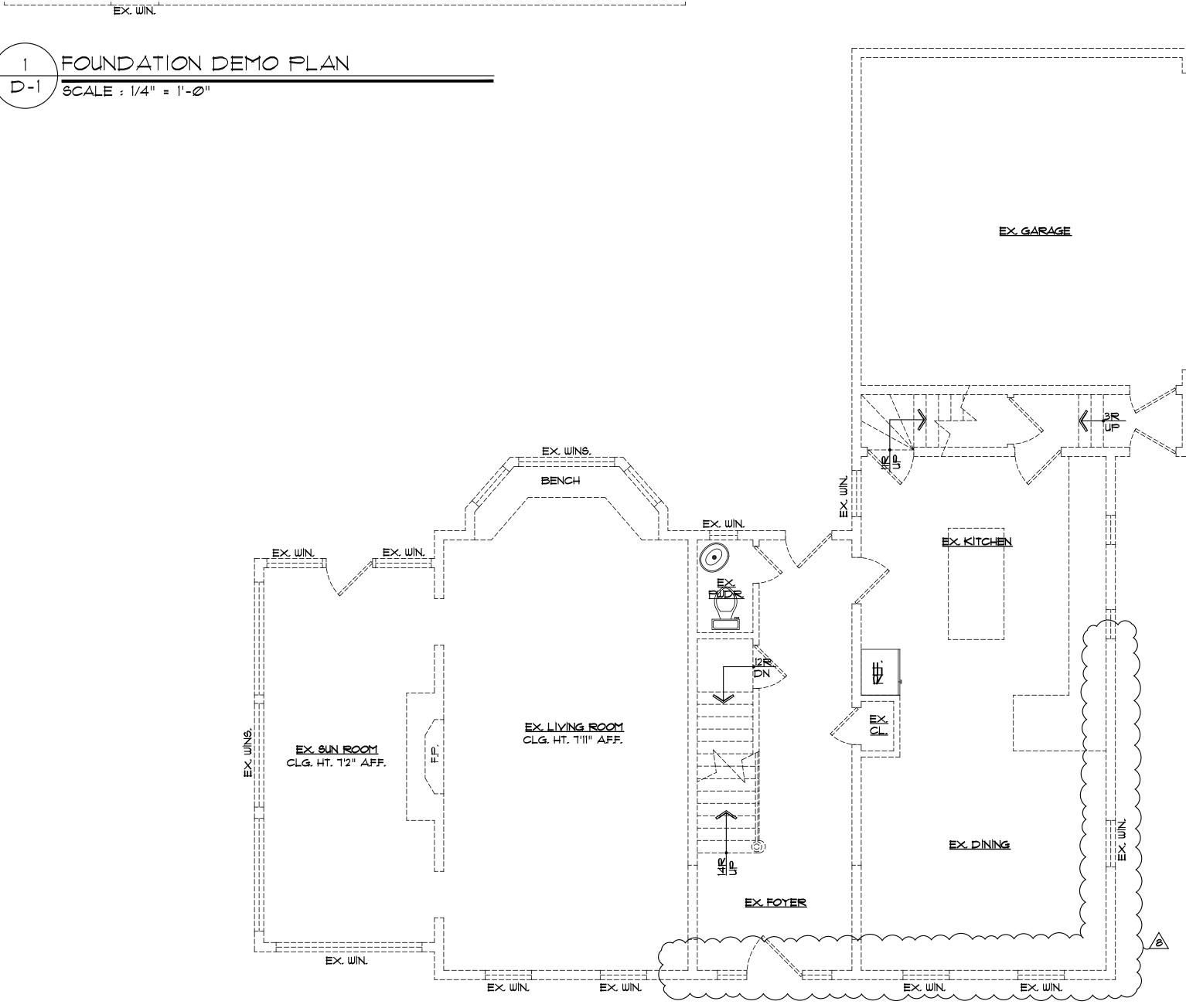
  REMOVE AND REPLACE EXISTING ASPHALT DRIVEWAY AND MASONRY WALKS, STOOPS AND STEPS.
- REPLACE DRIVEWAY PAVING TO MATCH EXISTING CONDITIONS AND PROVIDE NEW WALKS, STOOPS, PATIO, ETC. AS SHOWN ON SITE PLAN.

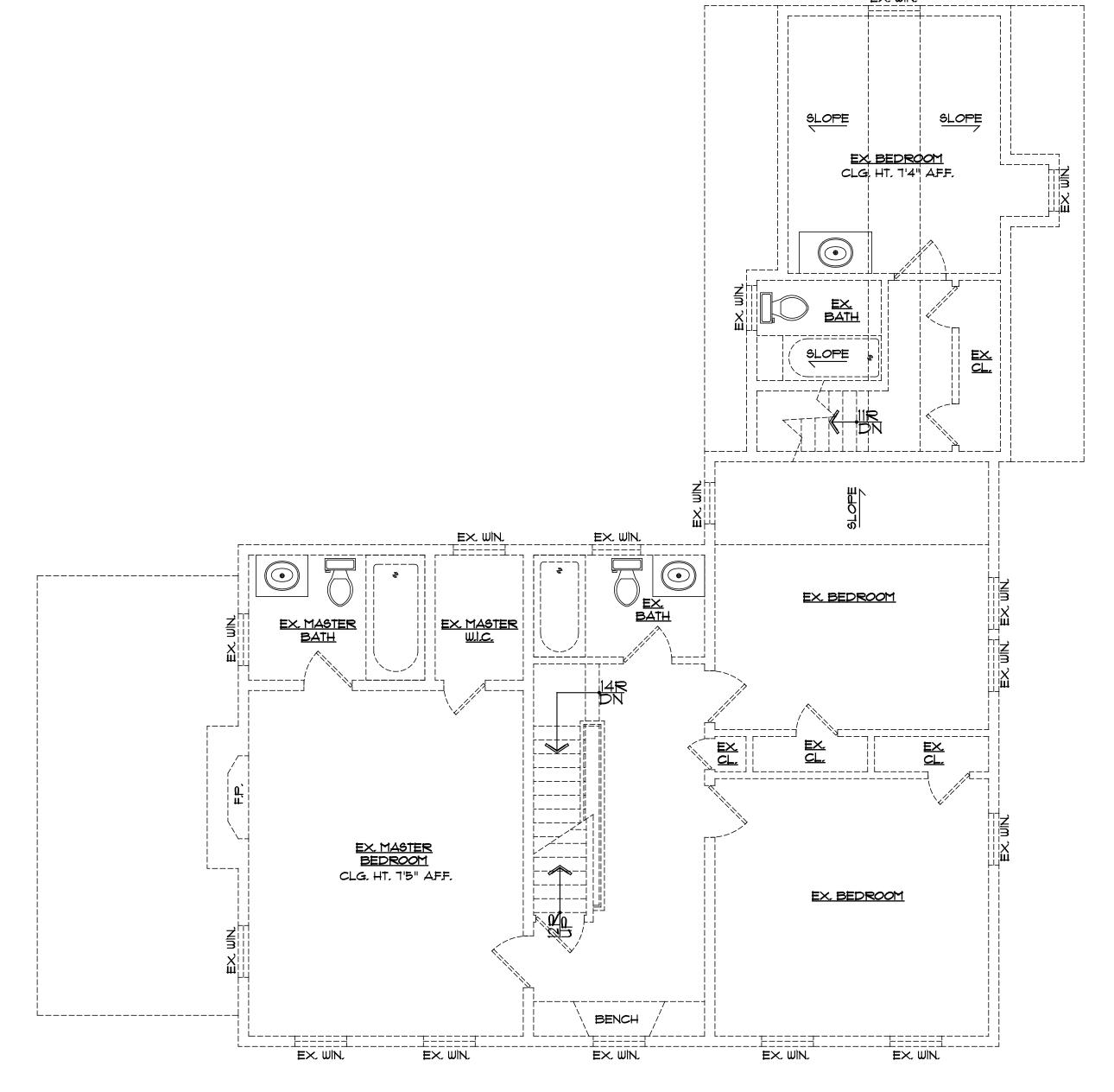
#### CLEAN UP-SAFETY

- 1. ALL DEBRIS RESULTING FROM OPERATIONS UNDER THIS CONTRACT SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL NOT BE STORED OR PERMITTED TO ACCUMULATE ON THE SITE.

  2. UPON COMPLETION OF WORK UNDER THIS CONTRACT, THE CONTRACTOR SHALL REMOVE ALL TOOLS,
- EQUIPMENT, MATERIALS, APPARATUS, ETC. AND SHALL BROOM SWEEP.

  3. CONTRACTOR PERFORMING THE WORK SHALL BE LICENSED, INSURED, HAVE KNOWLEDGE AND EXPERIENCE WITH SIMILAR DEMOLITION JOBS.





3 SECOND FLOOR DEMO PLAN

D-1 | SCALE : 1/4" = 1'-0"

<u>NOTES</u>

NOT FOR CONSTRUCTION

NEED DRB APPROVAL

NEED BZA APPROVAL

**SUBMISSIONS** 

| # | DATE     | DESCRIPTION        |
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| 1 | 12.09.24 | INITIAL SUBMISSION |
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|   |          |                    |

EST. - 2009

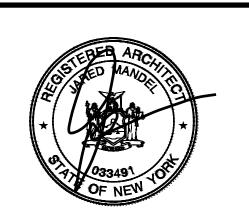
JARED MANDEL

ARCHITECTS

25 HILLSIDE AVE.
WILLISTON PARK - N.Y.

Email: Info@ Mandelarchitects.com

P: 5 1 6 - 6 2 9 - 9 0 6 0 F: 5 1 6 - 7 5 0 - 9 0 0 8



PRIVATE RESIDENCE 178 OVERLOOK AVENUE GREAT NECK, NY 11021

PAGE CONTENTS:

EXISTING FLOOR PLANS, DEMOLITION PLANS, NOTES

APPLICATION #:

DRAWN BY: M.L. CHECKED BY: J.M.

24048 SHEET NUMBER

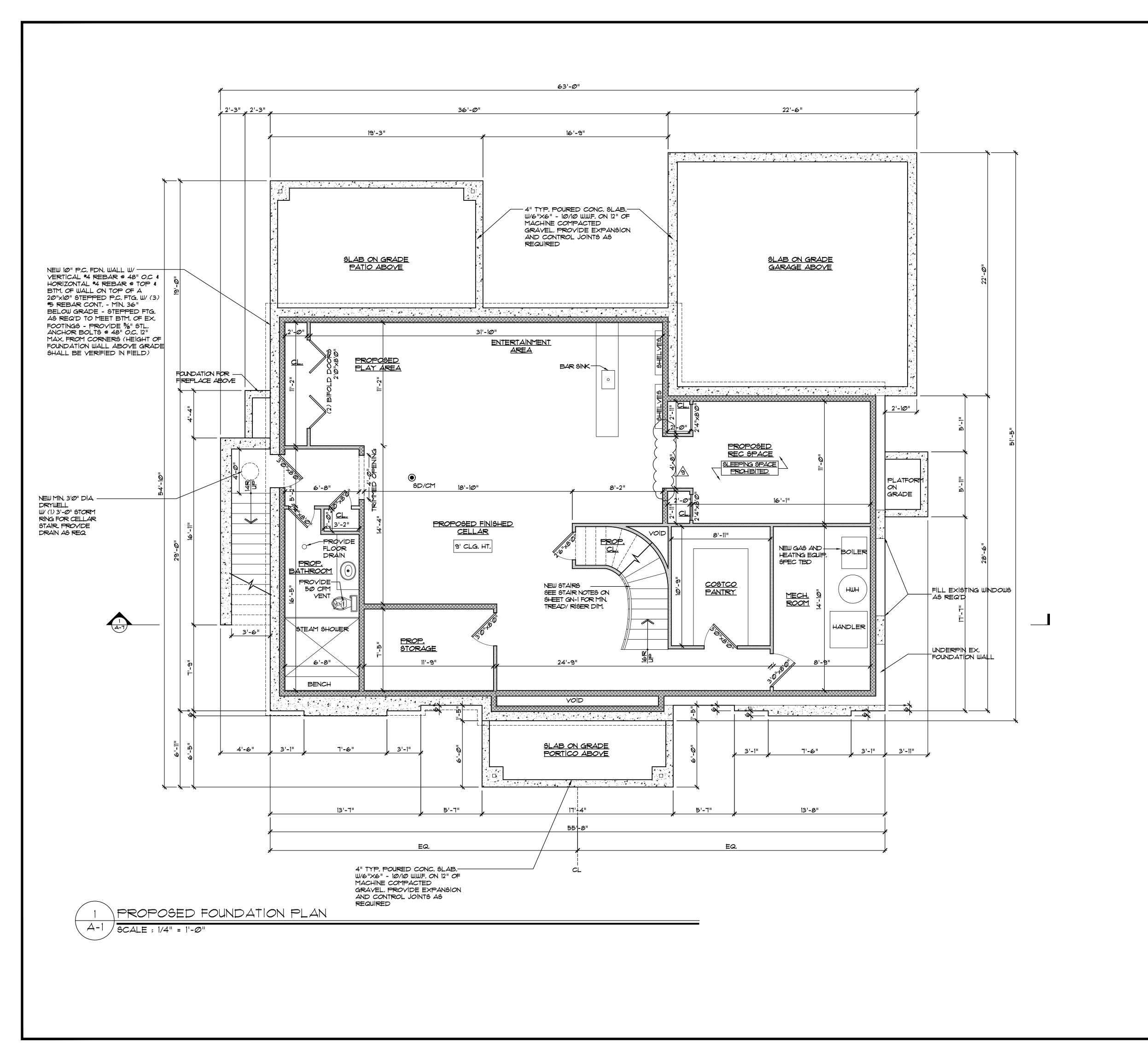
PROJECT #: 24048

DATE: 08.27.24

AS NOTED

D-1 SCALE : 1/4" = 1'-0"

FIRST FLOOR DEMO PLAN





\*CONTRACTOR SHALL CONTACT 811
PRIOR TO ANY EXCAVATION IN
ACCORDANCE W/
16 NYCRR PART 153 - PROTECTION OF
UNDERGROUND FACILITIES\*

### GENERAL NOTE #1

MIN. 34"-38" HT. CONTINUOUS HANDRAIL FOR ALL BALCONIES & ENTIRE LENGTH OF STAIRS. GUARDS REQ'D ON OPEN SIDES OF STAIR WHICH DO NOT ALLOW THE PASSAGE OF A SPHERE OF 4" OR MORE IN DIAMETER. AS PER RCNYS 2020 (TYPICAL)

#### GENERAL NOTE #2

ALL NEW WINDOWS SPECIFIED ARE ANDERSEN 400
SERIES. ANY CHANGES IN SPECIFICATIONS OR
MANUFACTURER, CONTRACTOR TO REVIEW AND
SPECIFY COMPARABLE PRODUCT W/ OWNER

### GENERAL NOTE \*3

24" x 36" PULL DOWN ATTIC STAIR INSULATE AND SEAL ALL PENETRATIONS AS REQ.

### GENERAL NOTE #4

ALL PROPOSED <u>EXTERIOR</u> WALLS TO BE 2x6 UNLESS OTHERWISE SPECIFIED.

### GENERAL NOTE #5

EXTERIOR DIMENSIONS ARE PROVIDED TO FRAMING.

### GENERAL NOTE #6

### GARAGE FIRE PROTECTION NOTES

PROYS R3025.1 OPENING PROTECTION. OPENINGS FROM A PRIVATE GARAGE DIRECTLY INTO A ROOM USED FOR SLEEPING PURPOSES SHALL NOT BE PERMITTED. OTHER OPENINGS BETWEEN GARAGE AND RESIDENCE SHALL BE. FIRE-PROTECTION-RATED ASSEMBLIES EQUIPPED WITH SELF-CLOSING DEVICES

RCNYS DWELLING GARAGE SEPARATION: WHERE HORIZONTAL CONSTRUCTION IS USED TO SEPARATE THE GARAGE FROM THE LIVING SPACE OR ITS ATTIC, SUCH CONSTRUCTION SHALL BE PROTECTED WITH ONE LAYER OF %in. THICK, TYPE-X, GYPSUM BOARD, INSTALLED IN ACCORDANCE WITH REQUIREMENTS OF SECTION RT02.3.5. OPENINGS IN HORIZONTAL SEPARATIONS SHALL NOT BE PERMITTED EXCEPT WHERE THE RESIDENCE IS OTHERWISE PROTECTED BY VERTICAL SEPARATIONS, WHERE THE HORIZONTAL SEPARATION US FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NO LESS THAN %in. TYPE-X GYPSUM BOARD OR EQUIVALENT

### WALL LEGEND

|  | PORTION OF EXISTING WALL TO<br>REMAIN                    |
|--|--|
|  | NEW 2"x4" STUD WALL @ 16" O.C.<br>W/ 5/8" GYP, BD, (UON) |
|  | NEW 2"x6" INT. STUD WALL @ 16"<br>O.C. W/ 5/8" GYP. BD.  |

O.C. W/ 5/8" GYP. BD. (UON) W/R-21 INSULATION

2"x BEARING WALL

NEW 10" P.C. FDN. WALL ON A
20"x10" DEEP FTG. (SIZES
YARY AS PER PLAN

### ● SD/CM

SMOKE DETECTOR/CARBON MONOXIDE DETECTOR AS PER R314, R315

NEW 2"x6" EXT. STUD WALL 16"

STRUCTURAL POST SHOWN TO BELOW YARIES AS PER PLAN

STRUCTURAL POST SHOWN ABOVE

STRUCTURAL STEEL POST

STRUCTURAL BEAM IDENTIFIER

### NOTES

NOT FOR CONSTRUCTION

NEED DRB APPROVAL

NEED BZA APPROVAL

### SUBMISSIONS

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|   |          |                    |
|   |          |                    |

EST. - 2009

JARED MANDEL ARCHITECTS

WILLISTON PARK - N.Y.
P: 516 - 629 - 9060
F: 516 - 750 - 9008
Email: Info@ Mandelarchitects.com

25 HILLSIDE AVE.



PRIVATE RESIDENCE 178 OVERLOOK AVENUE GREAT NECK, NY 11021

PAGE CONTENTS:

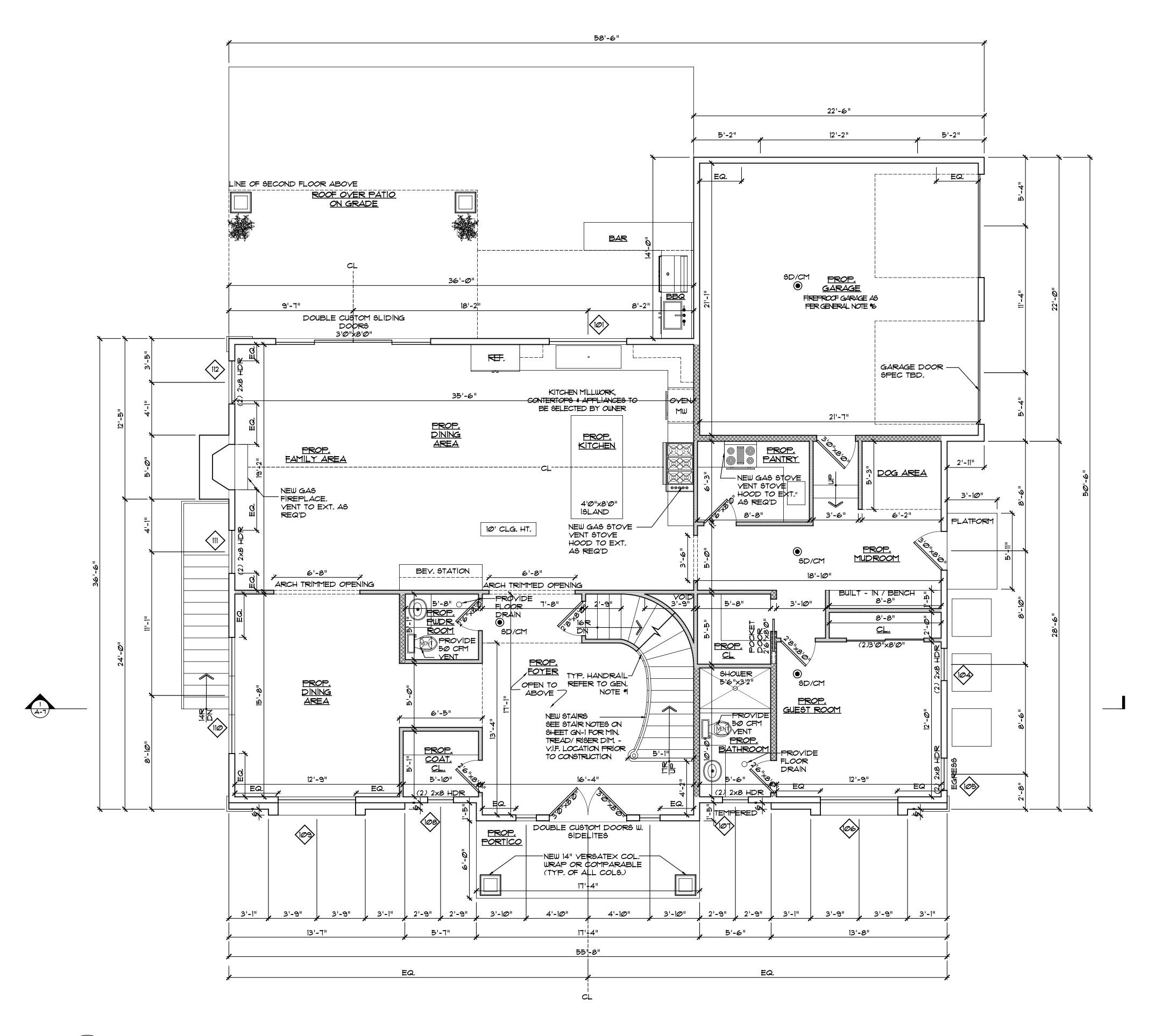
PROPOSED FOUNDATION PLAN, NOTES

DRAWN BY: M.L. CHECKED BY: J.M.

PROJECT #: 24048

SHEET NUMBER

\_\_\_\_\_



PROPOSED FIRST FLOOR PLAN

SCALE : 1/4" = 1'-0"

### NOTES

NOT FOR CONSTRUCTION NEED DRB APPROVAL NEED BZA APPROVAL

### **SUBMISSIONS**

| ł |          |                    |
|---|----------|--------------------|
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EST. - 2009

JARED MANDEL ARCHITECTS

25 HILLSIDE AVE. WILLISTON PARK - N.Y. P: 5 1 6 - 6 2 9 - 9 0 6 0 F: 5 1 6 - 7 5 0 - 9 0 0 8 Email: Info@ Mandelarchitects.com

# PRIVATE RESIDENCE 178 OVERLOOK AVENUE GREAT NECK, NY 11021

AGE CONTENTS:

PROPOSED FLOOR PLANS

\_\_\_\_\_ CHECKED BY: J.M. M.L. SHEET NUMBER ROJECT #: 24048

08.27.24 AS NOTED

MÍN. 34"-38" HT. CONTINUOUS HANDRAIL FOR ALL BALCONIES & ENTIRE LENGTH OF STAIRS, GUARDS REQ'D ON OPEN SIDES OF STAIR WHICH DO NOT ALLOW THE PASSAGE OF A SPHERE OF 4" OR MORE IN DIAMETER. AS PER RONYS 2020 (TYPICAL)

#### GENERAL NOTE \*2

GENERAL NOTE #1

ALL NEW WINDOWS SPECIFIED ARE ANDERSEN 400 SERIES, ANY CHANGES IN SPECIFICATIONS OR MANUFACTURER, CONTRACTOR TO REVIEW AND SPECIFY COMPARABLE PRODUCT W/ OWNER

#### GENERAL NOTE \*3

24" x 36" FULL DOWN ATTIC STAIR INSULATE AND SEAL ALL PENETRATIONS AS REQ

#### GENERAL NOTE \*4

ALL PROPOSED EXTERIOR WALLS TO BE 2x6 UNLESS OTHERWISE SPECIFIED.

### GENERAL NOTE \*5

EXTERIOR DIMENSIONS ARE PROVIDED TO FRAMING.

### GENERAL NOTE \*6

### GARAGE FIRE PROTECTION NOTES

RONYS R3025.1 OPENING PROTECTION. OPENINGS FROM A PRIVATE GARAGE DIRECTLY INTO A ROOM USED FOR SLEEPING PURPOSES SHALL NOT BE PERMITTED. OTHER OPENINGS BETWEEN GARAGE AND RESIDENCE SHALL BE. FIRE-PROTECTION-RATED ASSEMBLIES EQUIPPED WITH SELF-CLOSING DEVICES

RONYS DWELLING GARAGE SEPARATION: WHERE HORIZONTAL CONSTRUCTION IS USED TO SEPARATE THE GARAGE FROM THE LIVING SPACE OR ITS ATTIC, SUCH CONSTRUCTION SHALL BE PROTECTED WITH ONE LAYER OF 56 in. THICK, TYPE-X, GYPSUM BOARD, INSTALLED IN ACCORDANCE WITH REQUIREMENTS OF SECTION RT02.3.5. OPENINGS IN HORIZONTAL SEPARATIONS SHALL NOT BE PERMITTED EXCEPT WHERE THE RESIDENCE IS OTHERWISE PROTECTED BY VERTICAL SEPARATIONS, WHERE THE HORIZONTAL SEPARATION US FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NO LESS THAN % In. TYPE-X GYPSUM BOARD OR EQUIVALENT

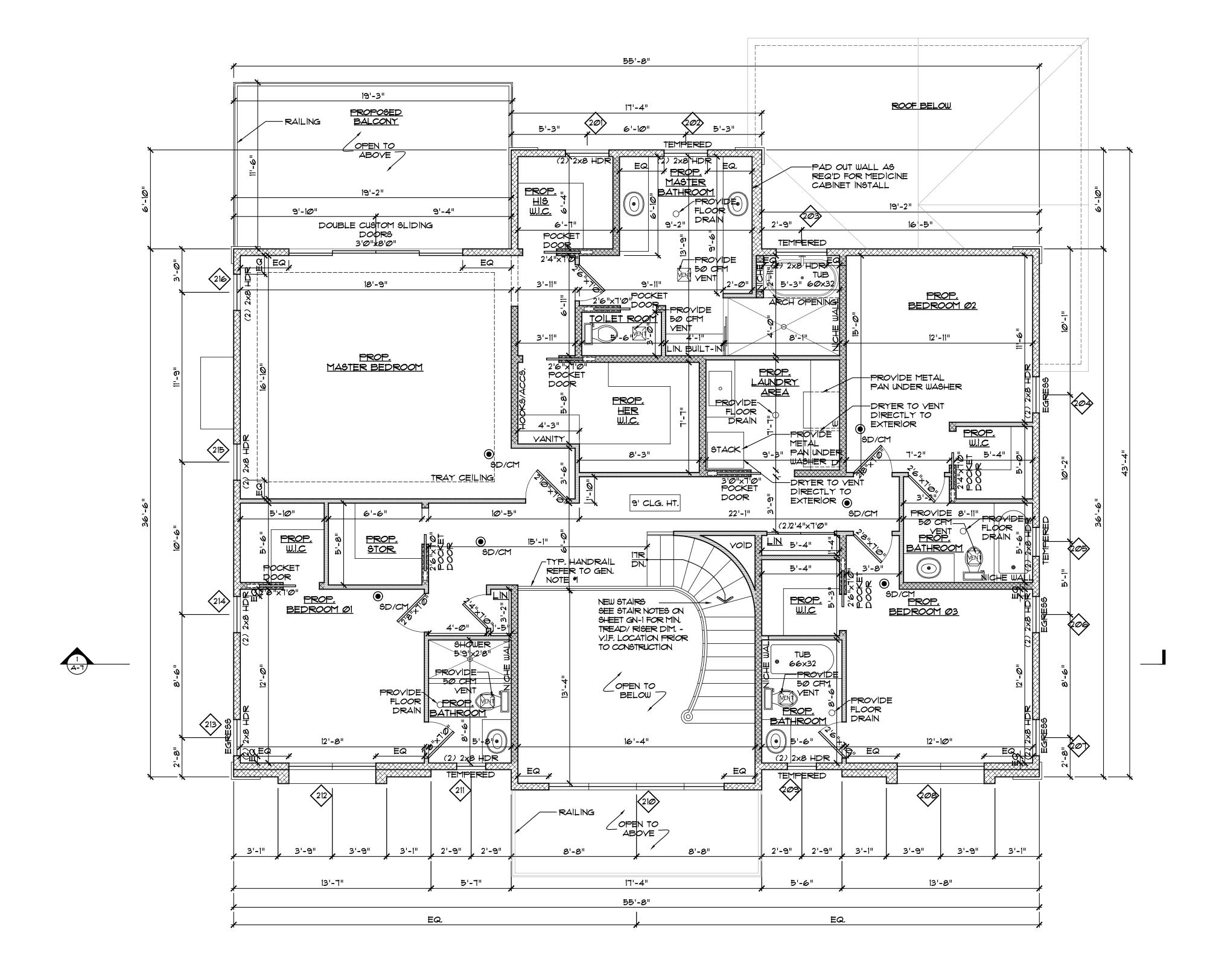
### WALL LEGEND

|  | PORTION OF EXISTING WALL TO<br>REMAIN   |
|--|---|
|  | NEW 2"x4" STUD WALL @ 16" O.C.<br>W/ 5/8" GYP. BD. (UON)                          |
|  | NEW 2"x6" INT, STUD WALL @ 16"<br>O.C. W/ 5/8" GYP, BD,                           |
|  | NEW 2"X6" EXT. STUD WALL 16"<br>O.C. W/ 5/8" GYP. BD. (UON) W/<br>R-21 INSULATION |
|  | 2"X BEARING WALL  |
|  | NEW 10" P.C. FDN. WALL ON A<br>20"X10" DEEP FTG. (SIZES<br>VARY AS PER PLAN       |

SMOKE DETECTOR/CARBON MONOXIDE DETECTOR AS PER R314, R315 STRUCTURAL POST SHOWN TO BELOW YARIES AS PER PLAN

STRUCTURAL POST SHOWN ABOVE

STRUCTURAL STEEL POST STRUCTURAL BEAM IDENTIFIER



PROPOSED SECOND FLOOR PLAN

(A-3) SCALE: 1/4" = 1'-0"

### NOTES

NOT FOR CONSTRUCTION NEED DRB APPROVAL NEED BZA APPROVAL

### **SUBMISSIONS**

| # | DATE     | DESCRIPTION        |
|---|----------|--------------------|
| 1 | 12.09.24 | INITIAL SUBMISSION |
| 2 | 01.20.25 | RESUBMISSION       |
| 3 | 02.14.25 | RESUBMISSION       |
| 4 | 03.20.25 | BZA SUBMISSION     |
| 5 | 06.11.25 | ARB SUBMISSION     |
|   |          |                    |

EST. - 2009

JARED MANDEL ARCHITECTS

25 HILLSIDE AVE. WILLISTON PARK - N.Y. P: 5 1 6 - 6 2 9 - 9 0 6 0

F: 5 1 6 - 7 5 0 - 9 0 0 8 Email: Info@ Mandelarchitects.com

### WALL LEGEND

GENERAL NOTE #1

GENERAL NOTE \*2

GENERAL NOTE #3

GENERAL NOTE \*4

GENERAL NOTE #5

GENERAL NOTE #6

SELF-CLOSING DEVICES

ALL PENETRATIONS AS REQ

UNLESS OTHERWISE SPECIFIED.

GARAGE FIRE PROTECTION NOTES

MIN. 34"-38" HT. CONTINUOUS HANDRAIL FOR ALL

REQ'D ON OPEN SIDES OF STAIR WHICH DO NOT

IN DIAMETER, AS PER RONYS 2020 (TYPICAL)

MANUFACTURER, CONTRACTOR TO REVIEW AND SPECIFY COMPARABLE PRODUCT W/ OWNER

24" x 36" PULL DOWN ATTIC STAIR INSULATE AND SEAL

ALL PROPOSED EXTERIOR WALLS TO BE 2x6

EXTERIOR DIMENSIONS ARE PROVIDED TO FRAMING.

RONYS R3025.1 OPENING PROTECTION OPENINGS FROM A

OPENINGS BETWEEN GARAGE AND RESIDENCE SHALL BE.

RONYS DWELLING GARAGE SEPARATION: WHERE HORIZONTAL

THE LIVING SPACE OR ITS ATTIC, SUCH CONSTRUCTION SHALL

CONSTRUCTION IS USED TO SEPARATE THE GARAGE FROM

BE PROTECTED WITH ONE LAYER OF 1/2 IN. THICK, TYPE-X, GYPSUM BOARD, INSTALLED IN ACCORDANCE WITH

EXCEPT WHERE THE RESIDENCE IS OTHERWISE PROTECTED

SEPARATION US FLOOR-CEILING ASSEMBLY, THE STRUCTURE

SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED

REQUIREMENTS OF SECTION RT02.35, OPENINGS IN

HORIZONTAL SEPARATIONS SHALL NOT BE PERMITTED

BY VERTICAL SEPARATIONS, WHERE THE HORIZONTAL

BY NO LESS THAN 1/2 I'M. TYPE-X GYPSUM BOARD OR EQUIVALENT

FIRE-PROTECTION-RATED ASSEMBLIES EQUIPPED WITH

PRIVATE GARAGE DIRECTLY INTO A ROOM USED FOR SLEEPING PURPOSES SHALL NOT BE PERMITTED. OTHER

BALCONIES & ENTIRE LENGTH OF STAIRS. GUARDS

ALLOW THE PASSAGE OF A SPHERE OF 4" OR MORE

ALL NEW WINDOWS SPECIFIED ARE ANDERSEN 400 SERIES, ANY CHANGES IN SPECIFICATIONS OR

|             | PORTION OF EXISTING WALL TO REMAIN  |
|-------------|---|
|             | NEW 2"x4" STUD WALL @ 16" O.C.<br>W/ 5/8" GYP. BD. (UON)                          |
| ·           | NEW 2"x6" INT. STUD WALL @ 16"<br>O.C. W/ 5/8" GYP. BD.                           |
| <del></del> | NEW 2"x6" EXT. STUD WALL 16"<br>O.C. W/ 5/8" GYP. BD. (UON) W/<br>R-21 INSULATION |
| 7////////   | 2"X BEARING WALL  |
|             | NEW 10" P.C. FDN. WALL ON A<br>20"X10" DEEP FTG. (SIZES<br>VARY AS PER PLAN       |

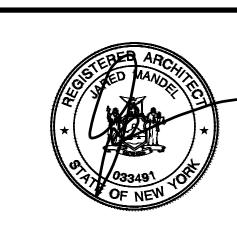
SD/CM

SMOKE DETECTOR/CARBON MONOXIDE DETECTOR AS PER R314, R315 STRUCTURAL POST SHOWN TO BELOW

VARIES AS PER PLAN STRUCTURAL POST SHOWN ABOVE

STRUCTURAL STEEL POST

STRUCTURAL BEAM IDENTIFIER



PRIVATE RESIDENCE 178 OVERLOOK AVENUE GREAT NECK, NY 11021

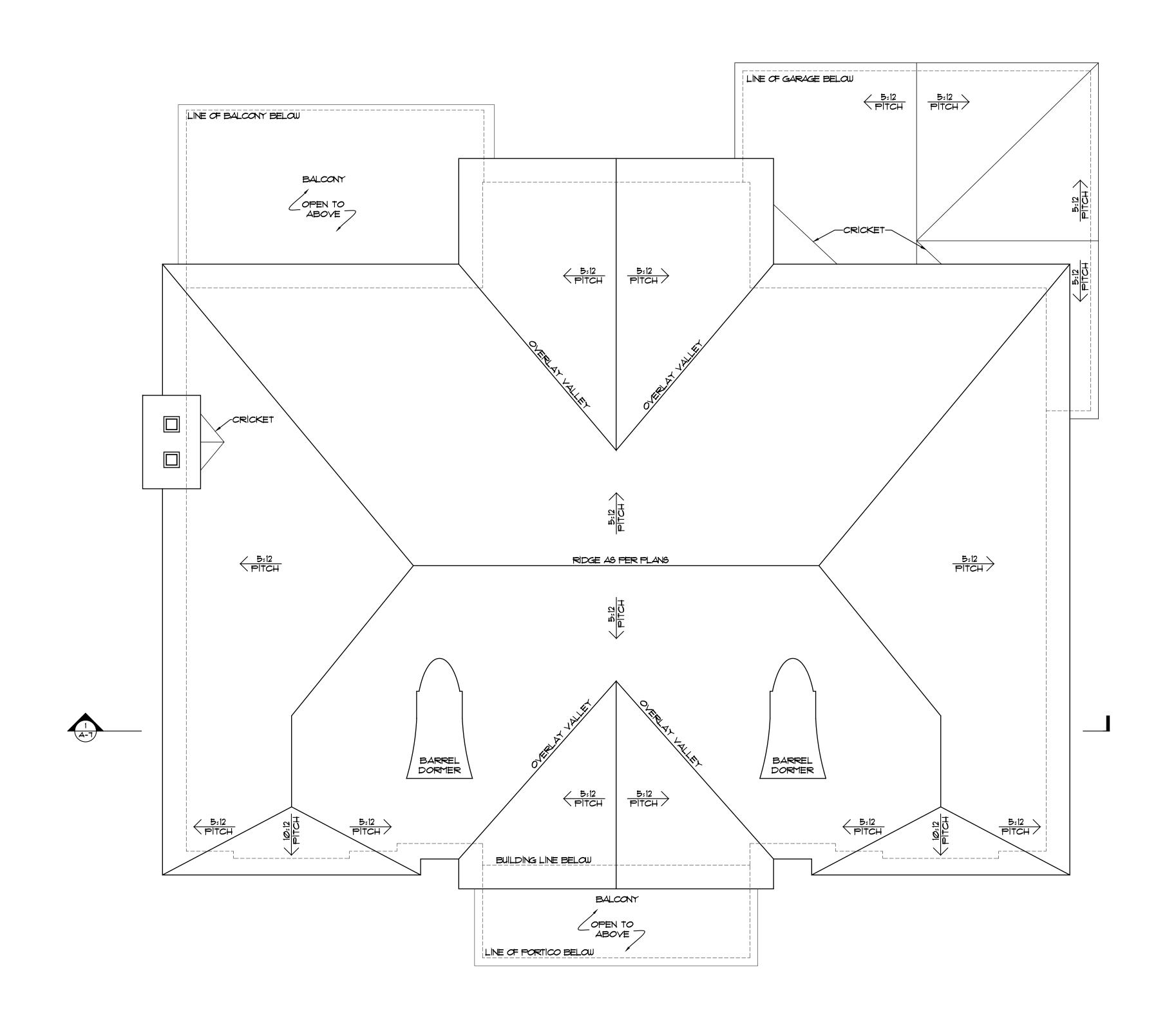
AGE CONTENTS:

PROPOSED FLOOR PLANS

\_\_\_\_\_

| DRAWN BY: | M.L.     | CHECKED BY:  | J.M.   |
|-----------|----------|--------------|--------|
| PROJECT#: | 24048    | SHEET        | NUMBER |
| DATE:     | 08.27.24 | $\mathbf{A}$ | -3     |

AS NOTED



PROPOSED ROOF PLAN

 $\triangle -4 \int SCALE : 1/4" = 1'-0"$ 

NOTES

NOT FOR CONSTRUCTION NEED DRB APPROVAL NEED BZA APPROVAL

**SUBMISSIONS** 

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| 5 | 06.11.25 | ARB SUBMISSION     |
|   |          |                    |

EST. - 2009

JARED MANDEL ARCHITECTS

25 HILLSIDE AVE. WILLISTON PARK - N.Y. P: 5 1 6 - 6 2 9 - 9 0 6 0 F: 5 1 6 - 7 5 0 - 9 0 0 8 Email: Info@ Mandelarchitects.com



PRIVATE RESIDENCE 178 OVERLOOK AVENUE GREAT NECK, NY 11021

PROPOSED ROOF PLAN, NOTES

APPLICATION #: \_\_\_\_\_\_\_\_

CHECKED BY: J.M. DRAWN BY: M.L. SHEET NUMBER

A-4

PROJECT #: 24048 08.27.24 SCALE: AS NOTED

STRUCTURAL POST SHOWN TO BELOW VARIES AS PER PLAN STRUCTURAL BEAM IDENTIFIER

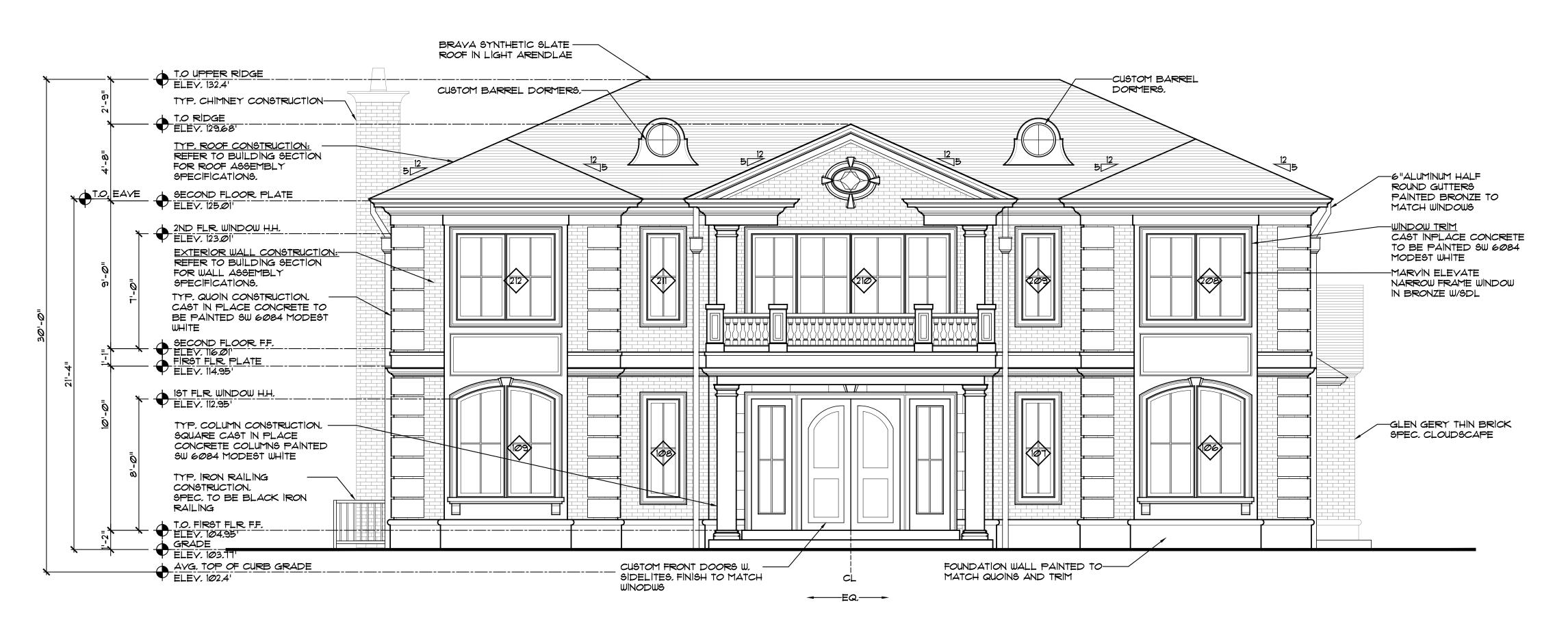
----- LINE OF EXTERIOR WALL BELOW

LINE OF EXISTING ROOF

- Line of proposed roof

LINE OF PROPOSED ROOF BELOW

ROOF PLAN LEGEND



PROPOSED FRONT ELEVATION

SCALE: 1/4" = 1'-0"



2 PROPOSED RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

NOTES

NOT FOR CONSTRUCTION

NEED DRB APPROVAL

NEED BZA APPROVAL

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|   |          |                    |

EST. - 2009

JARED MANDEL ARCHITECTS

25 HILLSIDE AVE.
WILLISTON PARK - N.Y.
P: 516 - 629 - 9060
F: 516 - 750 - 9008
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PRIVATE RESIDENCE 178 OVERLOOK AVENUE GREAT NECK, NY 11021

PAGE CONTENT

EXTERIOR ELEVATIONS

DRAWN BY: M.L. CHECKED BY: J.M.

ROJECT#: 24048

DATE: 08.27.24

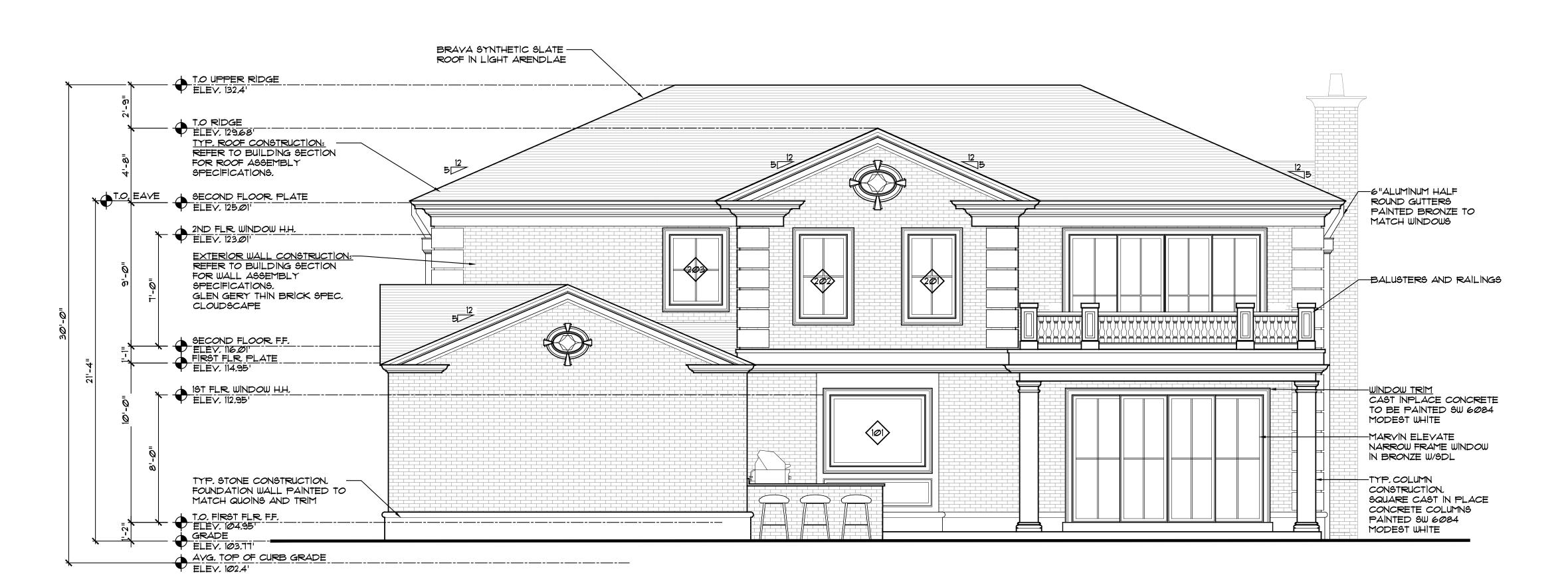
SCALE: AS NOTED

A-5



1 PROPOSED LEFT ELEVATION

A-6 SCALE: 1/4" = 1'-0"



2 PROPOSED REAR ELEVATION 6-6 SCALE: 1/4" = 1'-0" NOTES

NOT FOR CONSTRUCTION

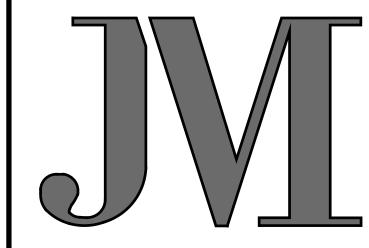
NEED DRB APPROVAL

NEED BZA APPROVAL

SUBMISSIONS

|   | # | DATE     | DESCRIPTION        |
|---|---|----------|--------------------|
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| ı |   |          |                    |
|   |   |          |                    |

EST. - 2009



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WILLISTON PARK - N.Y.
P: 516 - 629 - 9060
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Email: Info@ Mandelarchitects.com



PRIVATE RESIDENCE 178 OVERLOOK AVENUE GREAT NECK, NY 11021

PAGE CONTENTS:

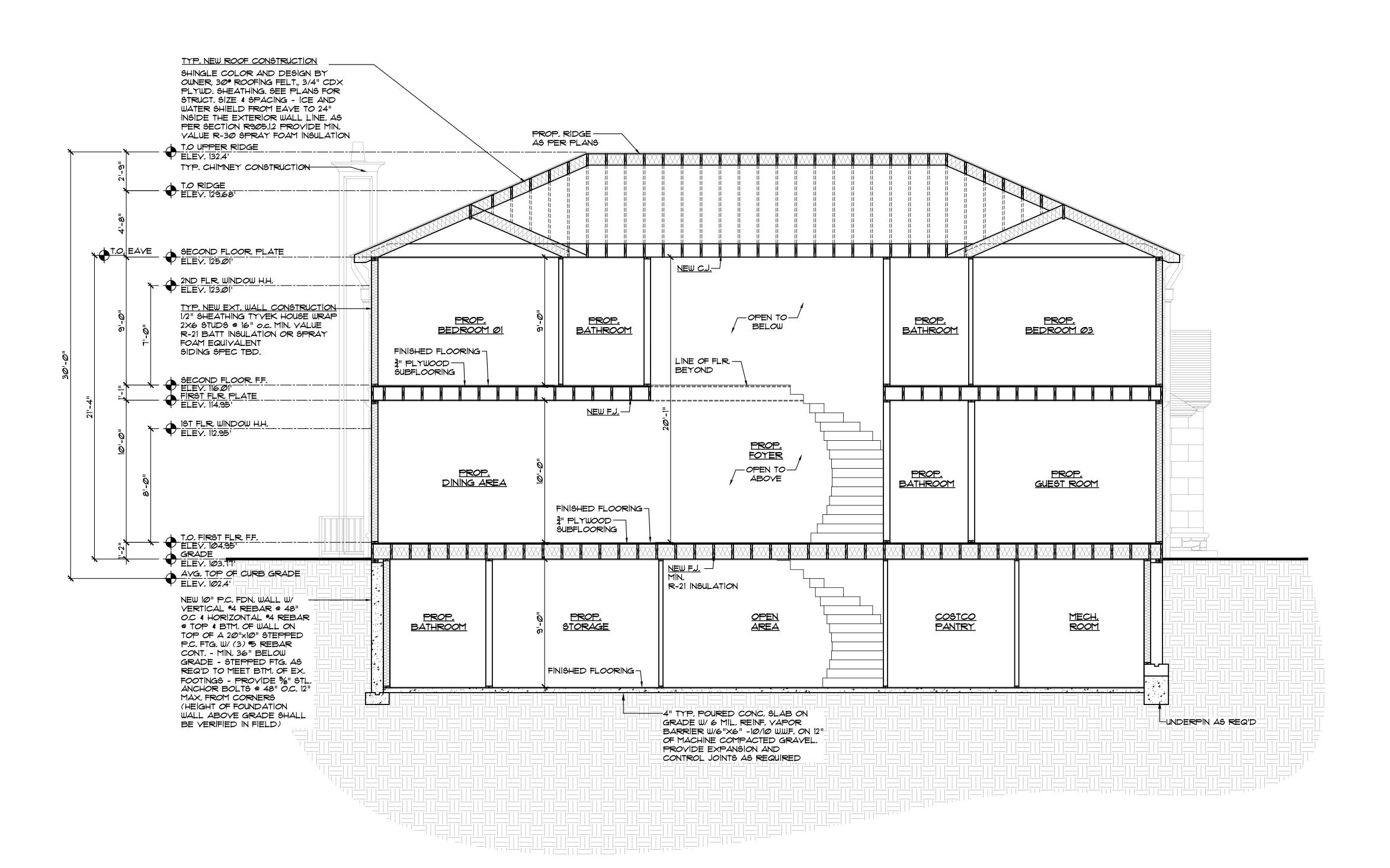
EXTERIOR ELEVATIONS

N BY: M.L. CHECKED BY: J.M.

24048
DATE: 08.27.24

SCALE: AS NOTED

A-6



1 A-7

PROPOSED BUILDING SECTION

SCALE : 1/4" = 1'-0"

NOTES

NOT FOR CONSTRUCTION

NEED DRB APPROVAL

NEED BZA APPROVAL

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PRIVATE RESIDENCE 178 OVERLOOK AVENUE GREAT NECK, NY 11021

PAGE CONT

PROPOSED SECTIONS, DETAILS, NOTES

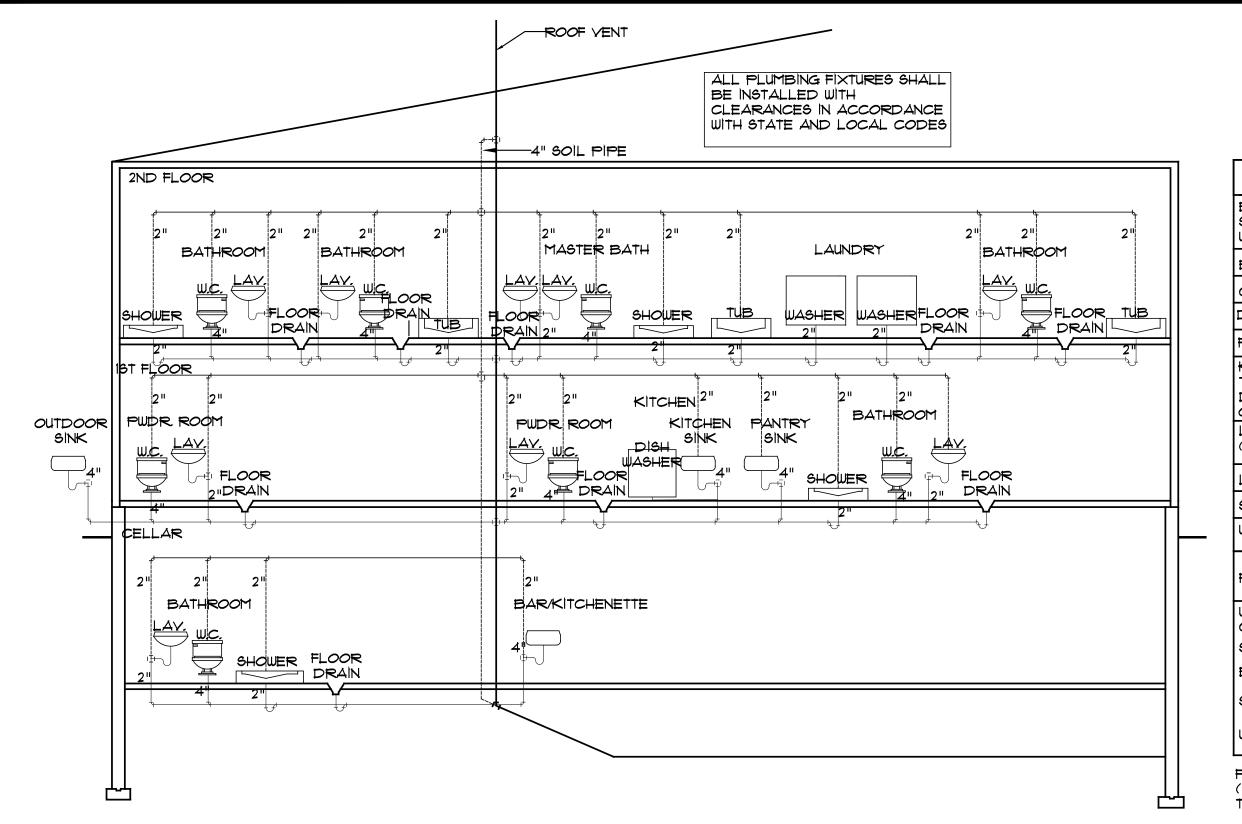
drawn by: M.L. checked by: J.M.

PATE: 24048

08.27.24

AS NOTED

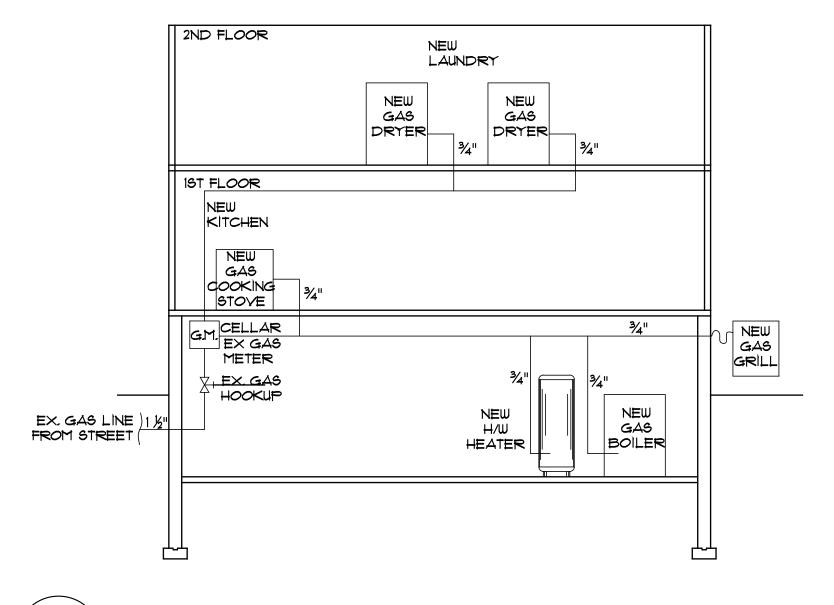
A-7



#### TABLE P3201.7 SIZE OF TRAPS AND TRAP ARMS FOR PLUMBING FIXTURES

| PLUMBIN  | IG FIXTUR              | Œ                      | NG FIX                   | rap (      | SIZE MINIMUM<br>NCHES) |
|--|------------------------|------------------------|--------------------------|------------|------------------------|
| BATHTUB (WITH OR WITHOUT<br>SHOWER HEAD AND/OR<br>WHIRLPOOL ATTACHMENTS)                 |                        |                        |                          |            | 1 ½                    |
| BIDET  |                        |                        |                          | 1 🛔        |                        |
| CLOTHES  | WASHER                 | STANDP                 | PE                       |            | 2                      |
| DISHWASH   | IER (ON S              | SEPERAT                | E TRAF                   | •)         | 1 ½                    |
| FLOOR D  | RAIN                   |                        |                          |            | 2                      |
| KITCHEN SINK (ONE OR TWO<br>TRAPS, WITH OR WITHOUT<br>DISHWASHER AND GARBAGE<br>GRINDER) |                        |                        |                          |            | 1 ½                    |
| LAUNDRY<br>(ONE OR   |                        | OMPARTM                | (ENTS                    | 1 ½        |                        |
| LAYATOR  | <u>``</u>              |                        |                          | 1 1/4      |                        |
| SHOWER   |                        |                        |                          | 2          |                        |
| WATER C  | _OSET                  |                        |                          | NOTE a     |                        |
| FIXTURE  | BRANCH<br>HOT<br>WATER | BRANCH<br>HOT<br>WATER | SOIL C<br>WASTE<br>CONNE |            | VENT<br>CONNECTION     |
| WATER<br>CLOSET  | 3/4"                   | 3/4"                   | 3" ×                     |            |                        |
| SINK   | 3/4"                   | 3/4"                   | 1 1/2                    | <u> </u>   | 11/4"                  |
| BATHTUB  | UB 34" 34" 13          |                        | 1 1/2                    | lii        | 11/4 "                 |
| SHOWER   | 3/4"                   | 3/4"                   | 1 1/2                    | <u>"</u>   | 11/4 "                 |
| WASHER 34" 34" 1.  |                        |                        | 1 1/2                    | <u>'</u> " | 11/4"                  |





2 GAS RISER DIAGRAM A-8 SCALE : N.T.S.



T" MÍN, INTO CONCRETE

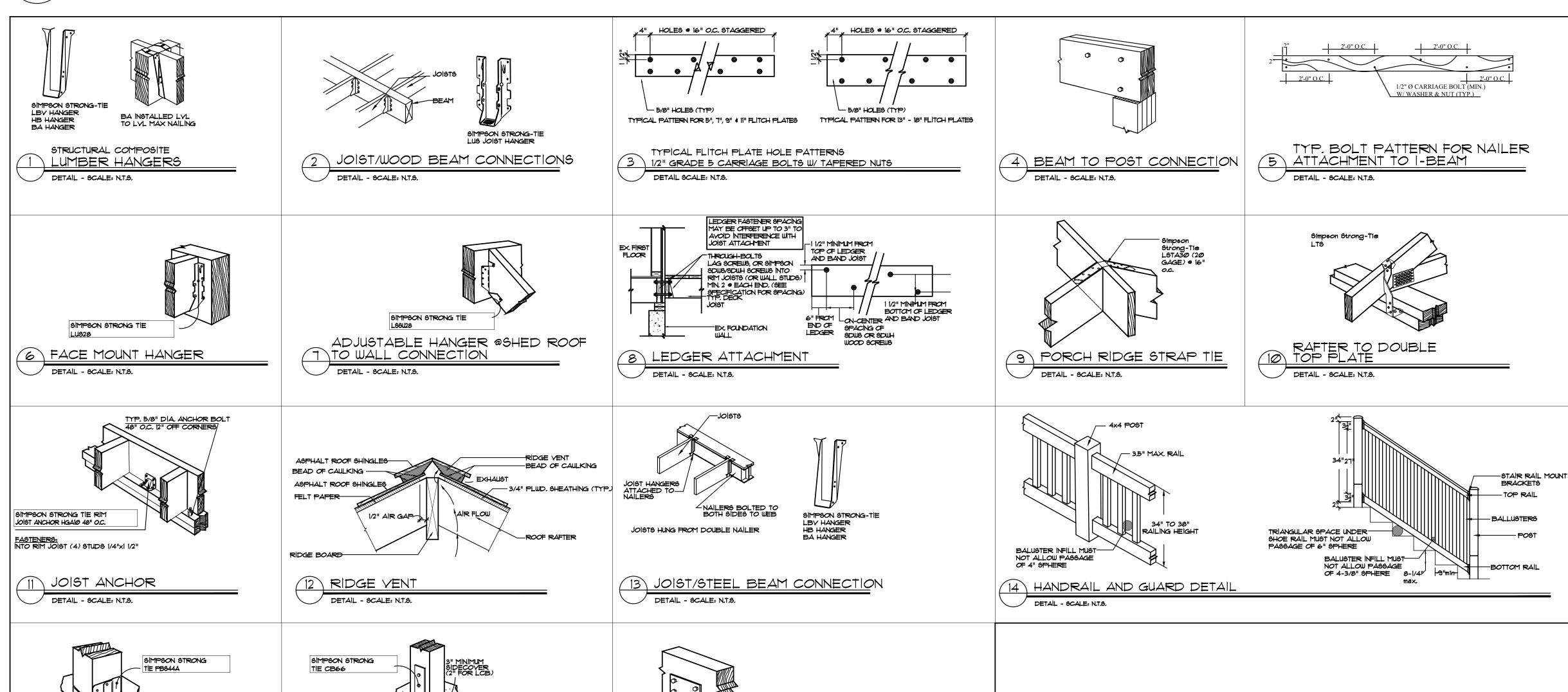
PORCH POST TO CONC. FTG.

DETAIL - SCALE: N.T.S.

POST TO CONC. FOOTING

DETAIL - SCALE: N.T.S.





PORCH POST TO GIRDER

### NOTES

NOT FOR CONSTRUCTION

NEED DRB APPROVAL

NEED BZA APPROVAL

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|   |          |                    |
|   |          |                    |

**SUBMISSIONS** 

JARED MANDEL

25 HILLSIDE AVE.
WILLISTON PARK - N.Y.
P: 516 - 629 - 9060
F: 516 - 750 - 9008
Email: Info@ Mandelarchitects.com

ARCHITECTS



PRIVATE RESIDENCE 178 OVERLOOK AVENUE GREAT NECK, NY 11021

PAGE CONT

RISER DIAGRAMS, DETAILS

DRAWN BY: M.L. CHECKED BY: J.M.

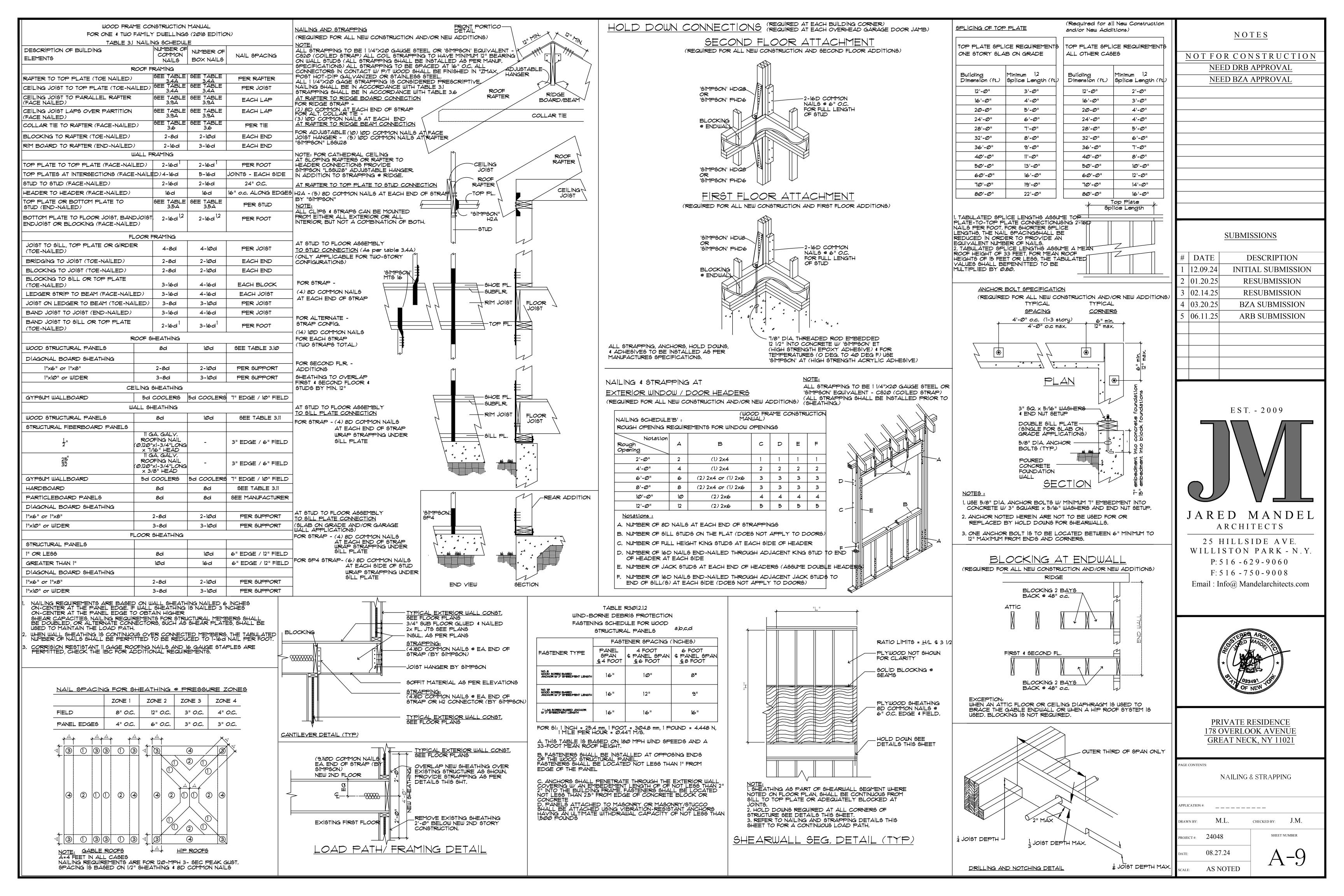
PROJECT #: 24048 SHEET NUMBER

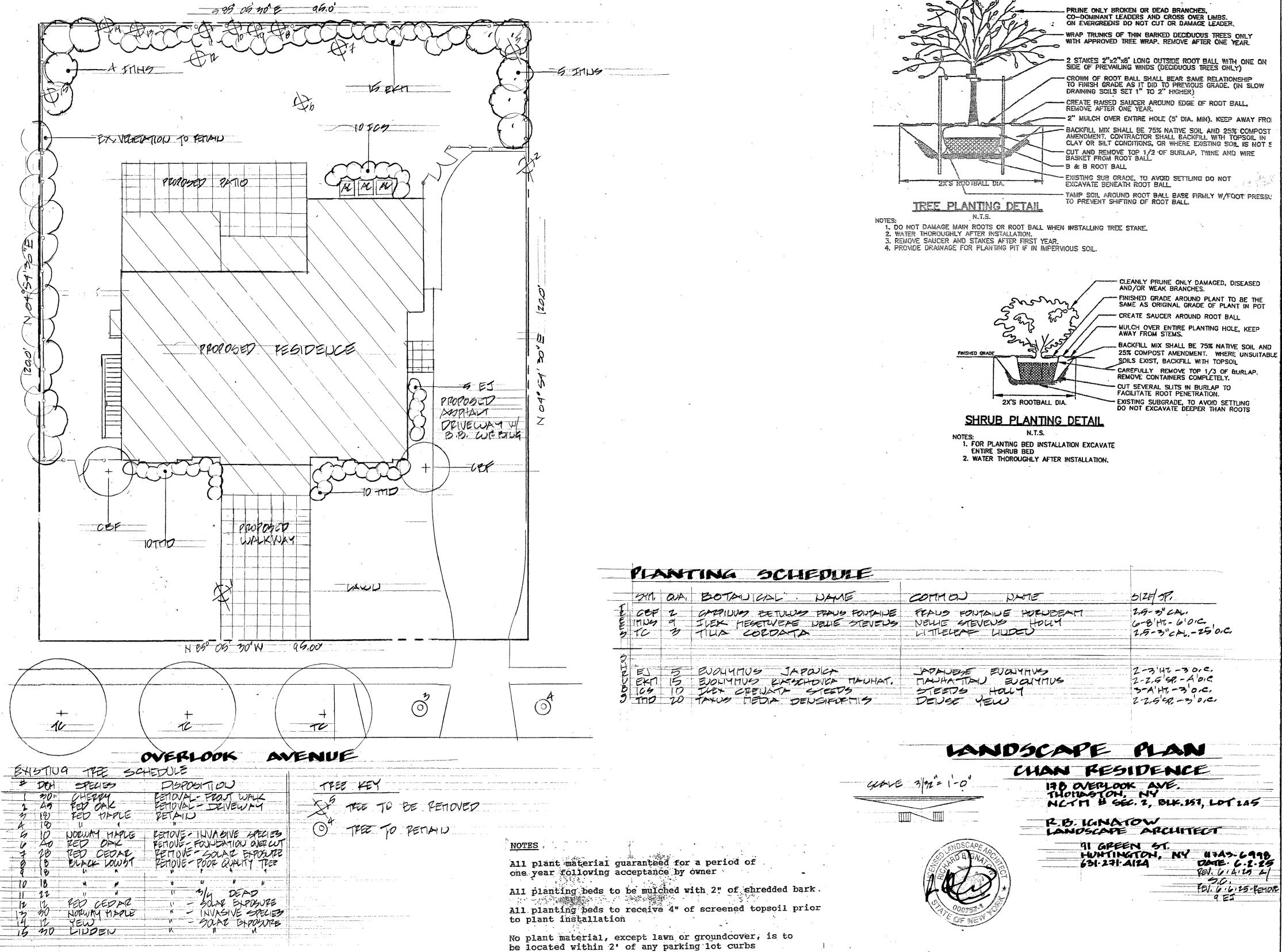
DATE: 24048

DATE: 08.27.24

SCALE: AS NOTED

A-8





PRUNE ONLY BROKEN OR DEAD BRANCHES, CO-DOMINANT LEADERS AND CROSS OVER LIMBS. ON EVERGREENS DO NOT CUT OR DAMAGE LEADER.

WRAP TRUNKS OF THIN BARKED DECIDUOUS TREES ONLY WITH APPROVED TREE WRAP. REMOVE AFTER ONE YEAR.

· 2 STAKES 2"x2"x8' LONG OUTSIDE ROOT BALL WITH ONE ON SIDE OF PREVAILING WINDS (DECIDUOUS TREES ONLY)

CROWN OF ROOT BALL SHALL BEAR SAME RELATIONSHIP TO FINISH GRADE AS IT DID TO PREVIOUS GRADE. (IN SLOW DRAINING SOILS SET 1" TO 2" HIGHER)

CREATE RAISED SAUCER AROUND EDGE OF ROOT BALL. REMOVE AFTER ONE YEAR.

- 2" MULCH OVER ENTIRE MOLE (5' DIA, MIN), KEEP AWAY FRO BACKFILL MIX SHALL BE 75% NATIVE SOIL AND 25% COMPOST AMENDMENT. CONTRACTOR SHALL BACKFILL WITH TOPSOIL IN CLAY OR SILT CONDITIONS, OR WHERE EXISTING SOIL IS NOT S CUT AND REMOVE TOP 1/2 OF BURLAP, TWINE AND WIRE BASKET FROM ROOT BALL

EXISTING SUB GRADE, TO AVOID SETTLING DO NOT

TAMP SOIL AROUND ROOT BALL BASE FIRMLY W/FOOT PRESSU

CLEANLY PRUNE ONLY DAMAGED, DISEASED AND/OR WEAK BRANCHES. FINISHED GRADE AROUND PLANT TO BE THE SAME AS ORIGINAL GRADE OF PLANT IN POT CREATE SAUCER AROUND ROOT BALL

MULCH OVER ENTIRE PLANTING HOLE, KEEP AWAY FROM STEMS.

BACKFILL MIX SHALL BE 75% NATIVE SOIL AND 25% COMPOST AMENDMENT. WHERE UNSUITABLE SOILS EXIST, BACKFILL WITH TOPSOIL CAREFULLY REMOVE TOP 1/3 OF BURLAP. REMOVE CONTAINERS COMPLETELY.

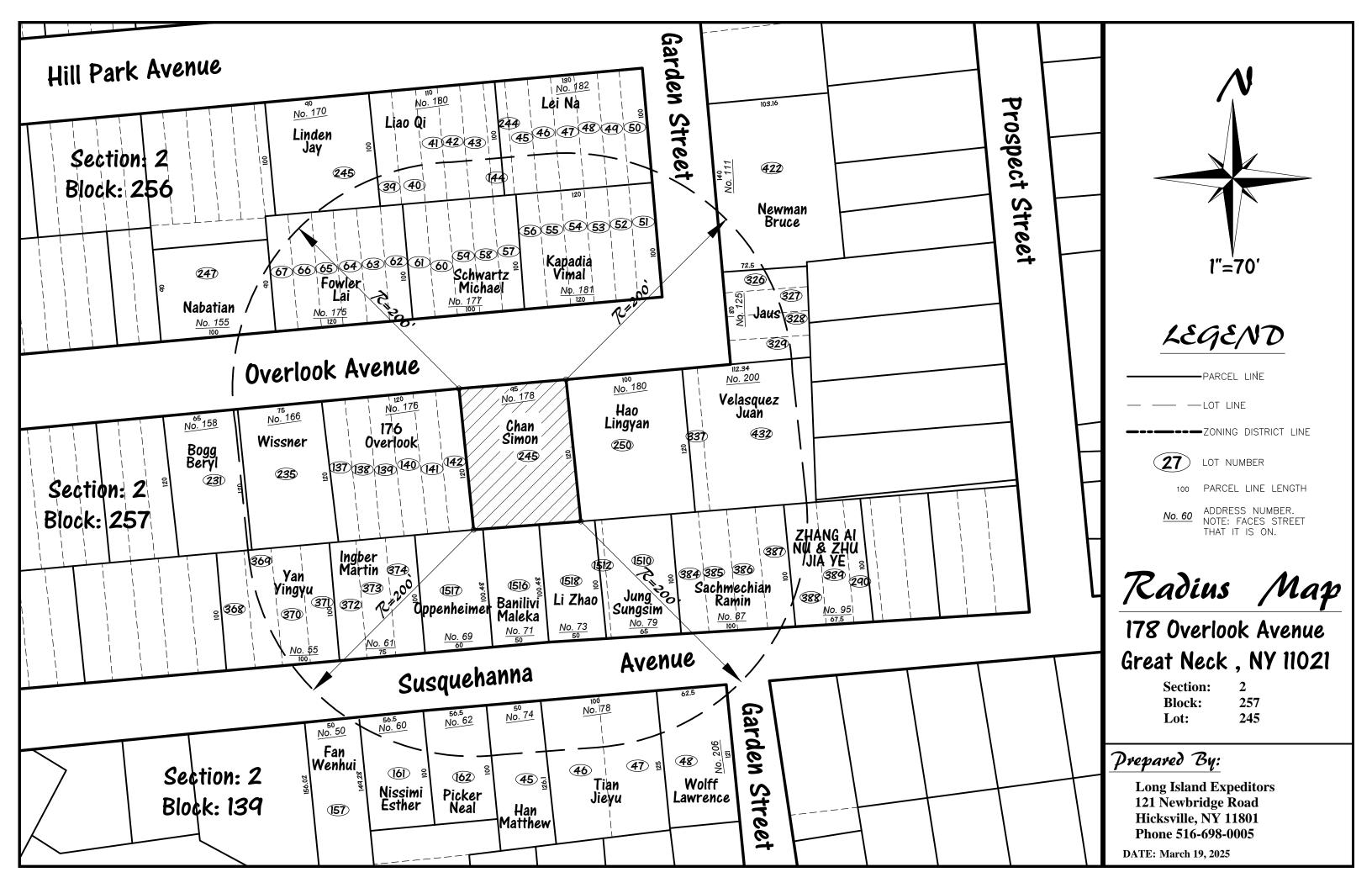
| gen.              | aux.  | BOTAULAND DAME   | COMMOD PAME   | 512H SP,                                       |
|-------------------|-------|--|---|--|
| CEF<br>IMNU<br>TC | 7 9 9 | CAPPILLON RETULUS FRAUS FOUTAINE<br>THEY HESETWEAE NEWE STEVENS<br>THA CORDATA | PEAUS FONTAINE HORNDEAM<br>NEWE STEVENS HOUR<br>LITTLEHEAF LINDEN | 2.5-3"CAL.<br>6-8'HT-6'O'C.<br>2.5-3"CAL25'0.0 |
|                   |       |  |   |  |
|                   |       | RUDUYMUS TAPRICA   | ADAUTHE EURINAMA  | 2-346-30,6.                                    |

### LANDSCAPE PLAN

FEV. 6:6:25-FEMOR

### AFFIDAVIT OF MAILING OF NOTICE

| STATE OF NEW YORK) ss: COUNTY OF NASSAU)   |
|--|
| Jared Mandel being duly sworn, deposes and says:   |
| On the6day of2025 , I sent by certified mail, return receipt requested, a notice required by the Code of the Village of Thomaston, a copy of which notice is hereto annexed, to each person on the attached list of names and addresses.   |
| Jared Mandel 178 Overlook Avenue Great Neck, NY 11201 (applicant name/address of subject property)   |
| The certified mail receipts for all such notices are hereby attached and made a part of this affidavit. The persons named in said list and to whom I mailed said notice are all of the owners of all of the lands within a radius of 200 feet of the property affected by this application, and the addresses designated in said list are the post office addresses of said persons. |
| Jared Mandel Print Name - (Owner/Applicant)  |
| 25 Hillside Avenue Williston Park, NY 11596 Address Signature  |
| Sworn to before me this  |
| 11 day of June 2025  |
| Albhea Vendse Pedroga Land<br>Notary   |
| ALTHEA VENISSE PEDROZA SENO Notary Public - State of New York NO. 01SE0026312 Qualified in Queens County My Commission Expires Jun 28, 2028  |



## List of Names Within 200 feet of

### Within 200 feet of 178 Overlook Avenue, Great Neck, NY

| Sec | Block | Lot             | Owner Name                            | Address            | Town                 |
|-----|-------|-----------------|---------------------------------------|--------------------|----------------------|
| 2   | 256   | 245             | Linden Jay L & Judith M               | 170 Hill Park Ave  | Great Neck, NY 11021 |
| 2   | 256   | 39-43,144       | Liao Qi                               | 180 Hill Park Ave  | Great Neck, NY 11021 |
| 2   | 256   | 45-50,244       | Lei Na                                | 182 Hill Park Ave  | Great Neck, NY 11021 |
| 2   | 256   | 51-56           | Kapadia Vimal & Kapadia Monica        | 181 Overlook Ave   | Great Neck, NY 11021 |
| 2   | 256   | 57              | Schwartz Michael & Liza               | 177 Overlook Ave   | Great Neck, NY 11021 |
| 2   | 256   | 62-67           | Fowler Lai Chan & Robert              | 175 Overlook Ave   | Great Neck, NY 11021 |
| 2   | 256   | 247             | Nabatian Morteza & Shahnaz            | 155 Overlook Ave   | Great Neck, NY 11021 |
| 2   | 257   | 231             | Bogg Beryl H                          | 158 Overlook Ave   | Great Neck, NY 11021 |
| 2   | 257   | 235             | Wissner-Gross Sigmund S & Elizabeth S | 166 Overlook Ave   | Great Neck, NY 11021 |
| 2   | 257   | 137-142         | 176 Overlook Llc                      | 176 Overlook Ave   | Great Neck, NY 11021 |
| 2   | 257   | 137-142         | 176 Overlook Llc                      | 57 TAIN DR         | Great Neck, NY 11021 |
| 2   | 257   | 250             | Hao Lingyan                           | 180 Overlook Ave   | Great Neck, NY 11021 |
| 2   | 257   | 337,432         | Velasquez Juan & Luisa                | 200 Overlook Ave   | Great Neck, NY 11021 |
| 2   | 257   | 326-329         | Jaus Massimo & Rhonnie                | 125 Garden St      | Great Neck, NY 11021 |
| 2   | 257   | 422             | Newman Bruce & Claudia                | 111 Garden St      | Great Neck, NY 11021 |
| 2   | 257   | 368-371         | Yan Yingyu & Cheng Hang               | 55 Susquehanna Ave | Great Neck, NY 11021 |
| 2   | 257   | 372-374         | Ingber Martin & Georgine              | 61 Susquehanna Ave | Great Neck, NY 11021 |
| 2   | 257   | 1517            | Oppenheimer Peter & Lori              | 69 Susquehanna Ave | Great Neck, NY 11021 |
| 2   | 257   | 1516            | Banilivi Maleka                       | 71 Susquehanna Ave | Great Neck, NY 11021 |
| 2   | 257   | 1518            | Li Zhao Fan                           | 73 Susquehanna Ave | Great Neck, NY 11021 |
| 2   | 257   | 1510,1512       | Jung Sungsim                          | 79 Susquehanna Ave | Great Neck, NY 11021 |
| 2   | 257   | 384-387         | Sachmechian Ramin                     | 87 Susquehanna Ave | Great Neck, NY 11021 |
| 2   | 257   | 290,388-<br>389 | ZHANG AI NU & ZHU JIA YE              | 95 Susquehanna Ave | Great Neck, NY 11021 |
| 2   | 139   | 157             | Fan Wenhui & Song Zhitao              | 50 Susquehanna Ave | Great Neck, NY 11021 |
| 2   | 139   | 161             | Nissimi Esther Trust                  | 60 Susquehanna Ave | Great Neck, NY 11021 |
| 2   | 139   | 162             | Picker Neal & Harriet                 | 62 Susquehanna Ave | Great Neck, NY 11021 |
| 2   | 139   | 45              | Han Matthew                           | 74 Susquehanna Ave | Great Neck, NY 11021 |
| 2   | 139   | 4647            | Tian Jieyu                            | 78 Susquehanna Ave | Great Neck, NY 11021 |
| 2   | 139   | 48              | Wolff Lawrence & Phyllis              | 206 Garden St      | Great Neck, NY 11021 |